



CITY OF PARKER

City Hall

1001 West Park Street

Phone 850-871-4104

www.cityofparker.com

Mayor

Rich Musgrave

Clerk

Nancy Rowell

Council Members

Mike Miller, Mayor Pro Tem

Ron Chaple

John Haney

Ken Jones

Attorney

Tim Sloan

PUBLIC NOTICE

REGULAR MEETING

OF

THE CITY OF PARKER COUNCIL

June 19, 2018

5:30 PM

PARKER CITY HALL

NOTE: AT EACH OF ITS REGULAR OR SPECIAL MEETINGS, THE CITY OF PARKER COUNCIL ALSO SITS, AS EX OFFICIO, AS THE CITY OF PARKER COMMUNITY REDEVELOPMENT AGENCY (CRA) AND MAY CONSIDER ITEMS AND TAKE ACTION IN THAT CAPACITY.

AGENDA

CALL TO ORDER – Mayor Musgrave

INVOCATION – Rev. Danny Davis, Refuge Assembly of God

PLEDGE OF ALLEGIANCE - Mayor Pro Tem Miller

ROLL CALL

APPROVAL OF MINUTES - City Council

Regular Meeting June 5, 2018

ITEMS FROM THE AUDIENCE (non-agenda items)

REGULAR AGENDA

1. **Request for Development Order—East Arrow Subdivision, 5005 E. 3rd St.—**
Sean McNeil, Engineer; Jeff Gregory, Developer; Jerry Forehand, Property Owner
2. **Request for Development Order—HBO Storage, 330 S. Tyndall Pkwy—Jeff**
Brittain, Engineer; Gary Eilers, Business/Property Owner
3. **Review Economic Development Contract with Bay County Chamber of**
Commerce and NextSite—Council
4. **Personnel Policy Updates-Vacation Accrual, Sick Leave Policy, and**
Probationary Period—Mayor Musgrave

CLERK'S REPORT

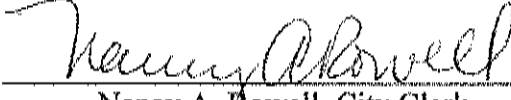
MAYOR'S REPORT

COUNCIL COMMENTS AND ANNOUNCEMENTS

ADJOURNMENT

Upcoming Events

- Next Regular City Council Meeting is July 3, 2018 (unless cancelled at June 19th Mtg.)
- Next Planning Commission Meeting is July 10, 2018



Nancy A. Rowell, City Clerk

If a person decides to appeal any decision made by the City Council with respect to any matter considered at the meeting, if an appeal is available, such person will need a record of the proceeding and such person may need to ensure that a verbatim record of the proceeding is made, which record includes the testimony and evidence upon which the appeal is to be made. Any person requiring a special accommodation at this meeting because of a disability or physical impairment should contact the City Clerk at 1001 West Park Street, Parker, Florida 32404; or by phone at (850) 871-4104. If you are hearing or speech impaired and you have TDD equipment, you may contact the City Clerk using the Florida Dual Party System, which can be reached at 1-800-955-8770 (Voice) or 1-800-955-8771 (TDD). ALL INTERESTED PERSONS DESIRING TO BE HEARD ON THE AFORESAID agenda are invited to be present at the meeting.

**MINUTES
REGULAR MEETING
PARKER CITY COUNCIL**

June 5, 2018

5:30 p.m.

Mayor Musgrave called the meeting to order at 5:30 p.m.

Mayor Musgrave gave the Invocation.

Mayor Pro Tem Miller led the Pledge of Allegiance.

Present: Council Members Chaple, Haney, Jones, Miller and Mayor Musgrave

Also Present: City Clerk Rowell, City Attorney Sloan, Public Works Supervisor Summerlin, Fire Chief Kelly and Police Chief Hutto

APPROVAL OF MINUTES—On motion of Council Member Chaple and second of Council Member Miller, the minutes of the Regular Meeting of May 1, 2018, were approved, 5 ayes, 0 nays.

ITEMS FROM THE AUDIENCE—None

REGULAR AGENDA

1. Appointments to Parker Infrastructure Half-Cent Sales Surtax Oversight

Committee—The Council reviewed applications from Mr. Duane Christie and Mr. Don Stoneburner. On motion of Council Member Miller and second of Council Member Chaple, Mr. Christie and Mr. Stoneburner were appointed to the Committee by a vote of 5 ayes, 0 nays.

2. Request for Development Order—East Arrow Subdivision, 5005 E. 3rd St.—The applicant was not in attendance and the Council agreed to move this item to the Regular Council Meeting of June 19th.

3. Review of City Debt Schedule/Discussion of Financing Trash Truck—Mayor Musgrave handed out a copy of the City's debt schedule and said that the ongoing debt payments are primarily for the AWT project. He said that the requested new trash truck and fire truck were included in the schedule though not yet approved, to show how the City could handle the debt. He said the 2018 total loan payments are \$428,000; that next year part of the AWT payment drops by almost \$100,000; that if a fire and trash truck were added, the annual debt payment was still down to about \$398,000; that the year after it would drop again due to AWT to \$362,000, and then to the \$350,000 range. Public Works Supervisor Summerlin addressed the Council requesting approval to purchase a new trash truck; that if ordered now, the first payment would not be due until after the beginning of FY 2018-19; that a new truck would cost about \$130,000; and he recommended the City's acquisition of a new truck every 5 years so that the fleet remains in good working condition. Council Member Miller made a motion to approve the purchase of a trash truck and finance it for five years. The motion was seconded by Council Member Haney and it passed, 5 ayes, 0 nays.

4. Review status of Fire Department vehicles and options to update or replace older models—The Mayor introduced the topic, saying that engine 8 and the med truck were both 18 years old; that options would be to run 8 until it dies and replace then, or try to replace now with a good trade in value, or hold off and save up for purchase but trade in value would be less. Fire Chief Kelly addressed the Council saying that he was not asking for new trucks; that he was only bringing facts. He said all the equipment was functioning like it should; that the rescue truck runs about 800 calls a year and that the other two trucks run about 200 calls a year; that Rosenbauer Corporation, as of February 29, 2018, represents that a new ladder truck would cost about \$658,000; that a replacement for engine 8 would be about \$240,485; that the current trade value would be about \$70,000 through Brindle Mountain; that to replace rescue truck 16 would be about \$110,000 and the current trade value would be about \$30,000-\$50,000. Council Member Jones asked if the City was going to allow 3 and 4-story buildings in the City and it was pointed out to him that those heights are already permitted, and there was discussion whether Parker would get more vertical development.

5. Bay District Schools Personnel Services Agreement—Police Chief Hutto addressed the Council saying that the agreement is necessary to allow Parker Police Officers to formally provide services to the schools when they are off-duty from Parker, but still acting as agents of the City. Council Member Miller expressed concern for the officers' well being, working so many hours and not resting, that the City is already thin on officers and this could put a strain on the City. Chief Hutto said the School District should be hiring more full time officers at the end of July. Council Member Haney made a motion to authorize the Mayor to sign the agreement, seconded by Council Member Miller, and the motion passed, 5 ayes, 0 nays.

6. Request to Declare Police Vehicle No. 32 Surplus/Request to Donate Surplus Police Vehicles to Bay District Schools—Police Chief Hutto asked the Council to make the surplus declaration and to donate two vehicles, numbers 28 and 32 to Bay District Schools, number 28 having previously been declared surplus. Council Member Miller made a motion to declare vehicle number 32 surplus and the motion was seconded by Council Member Haney. The motion passed, 5 ayes, 0 nays. Council Member Miller made a motion that vehicles number 28 and number 32 be donated to Bay District Schools and the motion was seconded by Council Member Jones. The motion passed, 5 ayes, 0 nays.

CLERK'S REPORT—City Clerk Rowell reported that: 1) a planning commission meeting with citizens was held May 24 as part of the update of the comprehensive plan; approximately 25 citizens talked about city issues and its future; their input will be used in the update of the plan; 2) one position has been filled in Public Works; and two remaining vacancies in process; 3) the RFP for the financial management system is being reviewed by the City's IT contractor, The Tech Group and RFP should be advertised June 22; 4) the 5 year cycle report, minus one section, has been submitted to the CRS/NFIP; working with the County on the last section since it provides most of the information and reporting on that topic of emergency management.

MAYOR'S REPORT—Mayor Musgrave reported that: 1) he contacted the pastor of Holy Hill church but pastor said still waiting on contractor; 2) he spoke with owner representative of East Bay Flats and who said the plan is still for the owner to develop a “for-sale townhome project”, the site plan has not been finalized, and financing still not complete; 3) the Chamber of Commerce and Gulf Power are contracting with a company, NextSite, which is an economic development group that matches communities’ needs with businesses looking for new sites; that the cost of services for Parker can be split with Callaway and the Chamber will pay 50% the first year, 30% the second year, and 10% the third year; when the contract is available he will bring it back to the Council for approval; 4) he visited Holloman Air Force Base to speak with officers and enlisted personnel about their work and the upcoming move to Tyndall; that shopping, restaurants, child care and housing close to the base were important to them; that about 1900 active duty people coming with and estimate of 3,500 total people moving to the area in 2020; 5) he received a thank you note for the Police and EMS for Officers Janette and Griffin..

COMMENTS AND ANNOUNCEMENTS—Council Member Miller noted that requests for funding are coming in from both Bay Area Transportation and from the BayTowne Trolley; that at this time the requests appear to be about the same as previously requested and that he would be presenting more at budget meetings. Council Member Chaple commented on the number of Florida Highway Patrol Officers and Chief Hutto noted most were for assistance during the Tyndall Parkway resurfacing.

ADJOURNMENT—The meeting was adjourned at 6:27 p.m.

Nancy A. Rowell, City Clerk



CITY OF PARKER AGENDA ITEM SUMMARY

1. DEPARTMENT MAKING REQUEST/NAME OF PRESENTER:

Owner Jerry Forehand/Developer Jeff Gregory/
Engineer Sean McNeil

2. MEETING DATE:

June 19, 2018

3. REQUESTED MOTION/ACTION:

Consider application for development order for East Arrow Subdivision and if LDR requirements are met, grant order.

4. IS THIS ITEM BUDGETED (IF APPLICABLE)

YES

☐

NO

☐

N/A

☒

5. BACKGROUND: (PROVIDE HISTORY; WHY THE ACTION IS NEEDED; WHAT GOAL WILL BE ACHIEVED FOR THE CITY)

The project principals presented to the Planning Commission on May 14. The minutes of that meeting are attached. The Planning Commission recommends to the Council approval of the project with the conditions stated in the minutes.

**MINUTES
PLANNING COMMISSION MEETING
CITY OF PARKER
May 14, 2018**

Chairman Christie called the meeting to order at 5:00 p.m.
Chairman Christie gave the Invocation.
Commissioner Palmer led the Pledge of Allegiance.

Present: Commission Members Palmer and Stoneburner and Chairman Christie
Absent: Commission Members Carroll (sick) and DeLonjay (previous commitment)
Also Present (Staff): City Clerk Rowell, City Attorney Sloan, Planner Bradford and Public Works Supervisor Summerlin

ITEMS FROM THE AUDIENCE—None

APPROVAL OF MINUTES—None

AGENDA ITEMS

1. Request for Development Order—East Arrow Subdivision, 5005 E. 3rd St.—Sean McNeil of McNeil Carroll Engineering addressed the Commission representing Greco Development and Jerry Forehand, property owner. He noted that this was a subdivision, an infill development, which has existing water and sewer, that there were three stormwater facilities proposed for the property; that all permits had been obtained from other agencies. Commissioner Palmer asked about the retention pond to the south, if it drained to the bay and Mr. McNeil said yes, there was an existing pipe and that the ponds would all use that pipe to drain.

Chris Shortt of Dewberry Engineering addressed the Council representing the City of Parker as plan reviewer. He noted that there had been a pre-application meeting with City staff and the project engineer and developer, and discussion throughout the review process. He noted that the project was reviewed against the LDR; that tie-ins to existing utility lines were reviewed; that a pre/post analysis of the stormwater runoff rate was done to make sure water leaving the property after development would not be in a higher volume than what is currently going downstream; that the plans met the attenuation criteria; that there would be easements granted by the owner to the City for maintenance of the stormwater facilities.

City Attorney Sloan asked how the drainage easements would be granted and Mr. McNeil responded that the subdivision would be platted with the easements to the City in place. Public Works Supervisor Tony Summerlin confirmed the drainage easement width of 25 feet and that the City would maintain the easements outside and inside the fenced areas. Mr. Shortt said that the drainage easements are shown on page 6 of the project plans and that the notes also state that

the stormwater facilities will be dedicated to the City; that the City would have easements to maintain the facilities but would not own the property; that the City will begin maintenance when the project is 100% complete. Mr. Sloan said that the City, in addition to the easement language in the plat, would also require an actual easement document recorded to include that no obstructions can be placed on the easements. Mr. Sloan asked if there had been a survey of the easement area and Mr. McNeil said he had not had a survey done and there isn't a legal description of the area at this time. Commissioner Palmer asked about any restrictions to the property owners for what they can plant in the easement area and City Attorney Sloan noted that the actual easement documents would state that the City has the right to cut anything in the easement area and the owners' obligation is to not obstruct the easements.

Mr. Short noted that there is a bonding requirement for subdivisions upon completion of construction and before the plat is recorded; that it is a maintenance bond in the amount of 15% of the cost of the construction of the improvements; that it is a close out item after construction and is a one year bond. Chairman Christie clarified that there were 11 units proposed for the subdivision and asked if there were any traffic issues that had needed review by the Department of Transportation and Mr. McNeil said that the volume of traffic did not reach the level to need a traffic study for concurrency.

Commissioner Palmer made a motion to recommend approval of the subdivision to the City Council conditioned upon the items set forth in the City engineer's report, the bonding requirement and easements acceptable to the City for stormwater facilities. Commissioner Stoneburner seconded the motion and it passed, 3 yeses, 0 noes.

2. Request for Development Order—HBO Storage, 330 S. Tyndall Pkwy.—Chairman Christie introduced the item and noted that Chris Shortt of Dewberry was in this instance representing the owner, Mr. Gary Eilers, not the City. Mr. Shortt addressed the Commission, noting that the project was an addition of another building with the same use as the current business; that there would be two spaces for commercial office space and that one would be the HBO office and the other available for lease. Mr. Shortt reviewed the architectural plans of the commercial space that will face Tyndall Parkway, including floor plans and exterior elevations; and the floor plan of the storage facilities within the building, noting a total of 73 storage spaces of varying sizes. He also reviewed the site plan, identifying a demolition area, new areas of paving and green space, and the ingress and egress for the property. He identified new decorative fencing for the property to provide security and 28 new parking spaces. He said the new building had sprinklers for fire suppression and that the utilities will be connected to existing on site lines.

Chairman Christie asked if the neighboring properties had been contacted regarding the security fencing which will block through-way access. Mr. Shortt said he did not know. Mr. Sloan asked about adequate distance between the roadway and the access gates in case there was a "stacking" issue.

Mr. Mike Harper, of Buchanan and Harper, representing the City as its engineer and plans reviewer, addressed the Commission, noting that the distance between the street and the gates was a length of about 70 feet and that he was not concerned about the stacking of cars due to the type of business; that a tractor trailer was 65 feet. Mr. Harper noted that his review of the project generally found it consistent with the requirements of the LDR; that while the parking rate for this type of facility is not addressed in the LDR, he looked to the Institute of Transportation Engineers' Parking Generation Manual and that the proposed spaces were within those guidelines; that the current business is considered a non-conforming use because the impervious surface requirements in today's LDR are not met; that the new development would actually reduce the impervious surface, not add to it; that part of the existing building, and the business/building next to it do not meet current LDR setbacks which is pretty common and not unusual for older developments to have a non conforming use. He said that the City's LDR is not clear on redevelopment on a nonconforming site and that he used a reasonable interpretation and is recommending approval of the project. He also recommended that the City amend the LDR to be clear in that area. Mr. Sloan also suggested such an amendment when the LDR is rewritten.

Commissioner Palmer asked about the fencing and Mr. Harper noted they were in conformance with the LDR and that the project that is being built is in conformance with the LDR.

Public Works Supervisor Summerlin addressed the Commission noting that HBO Storage has its own water and sewer utility infrastructure with all lines owned by the business, internal to their property; that there is one water meter next to the building, owned by the City but the city doesn't own the line it is on. Mr. Shortt said that two new meters were planned on the front of the new building on the NE corner. Mr. Summerlin asked where will they tap a water line and Mr. Shortt responded at the driveway entrance coming off of Lakewood. Mr. Summerlin said that if they were tapping a line in the parking lot it was their line, that the city's line is in DOT right-of-way on Tyndall Parkway. He also said that his team is provided key card access to properties when the meter is behind a secure fence, and Mr. Sloan said that the City would need an easement to access the existing water meters.

Mr. Shortt noted that no changes were proposed for stormwater drainage as no new impervious surface was proposed. Commissioner Palmer said the biggest change he sees is the visual aspect for the property where the storage of boats and recreational vehicles is added.

Commissioner Stoneburner made a motion to recommend approval of the development to the City Council conditioned upon an easement for access to the utilities. Commissioner Palmer seconded the motion and it passed, 3 yeses, 0 noes.

Page Four
Minutes
Parker Planning Commission
May 14, 2018

COMMENTS AND ANNOUNCEMENTS— Chairman Christie reminded the Commission of the next Planning Commission meeting on May 22nd at 5:00 pm, and the Public Open House on the Comprehensive Plan, May 24th at 5:30 pm. He also noted that there is a home in Donalson Point that has put a shed on a City alleyway and that it could be discussed at a later meeting.

ADJOURNMENT— Chairman Christie adjourned the meeting at 6:05 p.m.

Nancy A. Rowell, City Clerk



Dewberry Engineers Inc. 850.522.0644
203 Aberdeen Parkway 850.522.1011 fax
Panama City, FL 32405 www.dewberry.com

April 24, 2018

VIA EMAIL @ aubilling@cityofparker.com

Ms. Lou Bradford
City of Parker
1001 West Park Street
Parker, Florida 32404

RE: East Arrow Subdivision Major Development Review
Dewberry | Preble-Rish Project No. 50100101

Dear Ms. Bradford,

As requested, Dewberry | Preble-Rish has reviewed the above referenced application and supporting documents for concurrence with Sections 4, 5 & 6 of the City of Parker Land Development Regulations (see the attached Review Memo). Based on the materials submitted, it is our recommendation to approve this development order application with the following specific conditions:

- If at any time the City of Parker determines there to be an erosion control and drainage problem then the developer shall be required to place erosion control devices such as silt fence and hay bales at locations specified by the City.
- All applicable State and Federal Permits must be acquired prior to construction.
- The structures will be required to meet all of the applicable State and Federal Requirements.
- The Sewer Laterals are known to be existing and assumed to be in good working order. In the event a sewer lateral is damaged during construction, or prior to construction, the City must approve any new connections to the Gravity Sewer Main and all necessary asphalt repairs.
- The final plat will need to be reviewed by the City's Designee and approved by the City Council prior to recording.

If you have any questions or require any additional information, please give me a call at 850.522.0644.

Sincerely,
DEWBERRY



Chris Shortt, P.E.
Project Manager

Attachment: Review Memo

CC: Dina Bautista, P.E., CFM, Senior Project Manager, Dewberry, w/attachments (via email at dbautista@dewberry.com)
Ricky Dodd, E.I., Staff Engineer, Dewberry, w/attachments (via email at rdodd@dewberry.com)

K:\50084344 City of Parker_Project # Dev. Rev\50100101_5005 E. 3rd St - 11 Lot Subdivision\Approval Letter\East Arrow Subdivision DO Review.docx



Date: April 24, 2018

To: City of Parker

From: Dewberry

Subject: East Arrow Subdivision Major Development Review

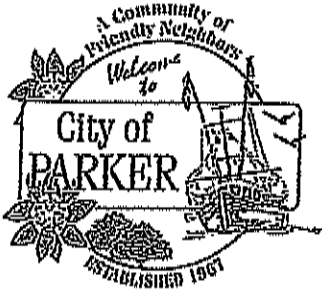
Message:

1. According to LDR Section 6-1.4.2(b) the following materials shall be submitted for review of all Level 2 – Major Developments:
 - Vicinity sketch showing relationship to surrounding roadways, adjacent land uses, and flood zones - A site plan was submitted that showed the adjacent streets, U.S. Business Highway 98, East Street, and Arrow Street. The land use has been identified as Mixed Use 1 (MU-1). A FEMA flood zone of "X" was identified for the above referenced project.
 - Description of the land; the name, address, and telephone number of the owner, developer, and designer or architect, and the date of the site plan preparation. This information was provided on the development order application and the cover sheet of the Permitting Plan Set.
 - Boundary lines and dimensions of the area or lots included in the site plan, including angles, dimensions and references; a North directional arrow and map scale; and the proposed use of the land by areas. This was provided on the submitted Permit Set.
 - The existing and proposed grades, the drainage plan, erosion control plan, and the proposed structures with appropriate topographic contour intervals or spot elevations. A site grading plan, a site drainage plan, and a site erosion control plan were submitted with the application.
 - The shape, size, and location of all structures, including the floor area and elevations. This was provided in the site grading plan.
 - Natural features such as wetlands, shoreline, lakes or ponds, and protected trees, and man-made features such as existing roads, sidewalks, fences or other structures, indicating which are to be retained, removed or altered. These items were provided on the submitted plans.
 - Proposed street, driveways, sidewalks, and parking facilities; vehicular turnarounds, curb cutouts, and loading areas; the location of solid waste receptacles; the inside radii of all curves; the width of streets, driveways and sidewalks and the total number of available parking spaces specifying the type of construction and critical dimensions, and the ownership of the various facilities. This was provided on the submitted site plan.
 - The size and location of all existing and proposed public and private utilities or easements; water and sewer tap locations; sewer cleanouts and turns; and water meter types, sizes, and locations. This is shown on the submitted site utility plan.
2. According to LDR Section 4-5.2(5) the maximum density is 15 du/ac, maximum building height for residential use is 120ft/ 12 stories, the minimum lot setbacks are 15 feet in the front yard, 7 feet in the side yard, 15 feet in the rear yard, and 10 feet for corner lots, the percentage of lot coverage is a maximum of 80%, and a minimum lot size of 5,000 square feet. The proposed density is 4.62 du/ac. The application states the building height is to be determined but will not exceed the LDR requirements. According to the submitted plans, the setbacks for the proposed project are 15 feet from the rear and front property line, and 7 feet for the side yard (with the exception of the lot at the corner of US Bus. Hwy 98 and Arrow Street, this has a side yard setback of 10 feet). The proposed lot coverage is 60% according to the Site Plan. According to the



Submitted Plans, the total Project Area is 2.385 AC. These specifications are in compliance with this Section of the LDR.

3. According to LDR Section 5-8.1(4) The developer shall design and construct all drainage structures or conveyances to accommodate stormwater runoff produced by a 25-year, 24-hour storm event and, when applicable, the requirements of Chapter 14-86, Florida Administrative Code (FDOT Drainage Permit). A drainage report was submitted with the application that followed the above requirements, which is in compliance with this section of the LDR.
4. All applicable State and Federal Permits must be obtained prior to Construction.
5. With the granting of this development order, the structures will still be required to meet all of the applicable building code requirements.



CITY OF PARKER

1001 WEST PARK STREET • PARKER, FLORIDA 32404
TELEPHONE (850) 871-4104 • FAX (850) 871-6684

CITY OF PARKER
APPLICATION FOR DEVELOPMENT PERMIT
MAJOR DEVELOPMENT
NOTE: \$1000 Deposit plus review fee

Date of Submittal: January 10, 2018

DO Permit #: 17-3553

Bldg Permit #: _____

Land Use Designation: MU-1

Parcel ID# 25751-000-000

APPLICANT INFORMATION

NAME OF APPLICANT: Douglas G. Forehand

ADDRESS: 1005 South Kimbrel Avenue; Panama City, Florida 32404

TELEPHONE: 850-774-5432 EMAIL: cjforehand71@msn.com

NAME OF CONTACT: Jeff Gregory

ADDRESS: P.O. Box 15414; Panama City, Florida 32406

TELEPHONE: 850-872-9454 EMAIL: grecodev@comcast.net

SITE INFORMATION

SITE LOCATION: 5005 3rd Street East
(MUST INCLUDE ADDRESS)

CURRENT USE OF SITE: Vacant

PROPOSED USE OF SITE: Residential Subdivision - 11 Lots

SIZE (SQ. FT. / ACRES): 2.55± Acres

SOIL TYPES LOCATED ON PROPERTY: Lakeland Sand & Pamlico-Dorovan Complex

TOPOGRAPHY ELEVATIONS LOCATED ON PROPERTY: See attached survey

IS THE PROPOSED STRUCTURE WITHIN A DESIGNATED FLOOD ZONE AS SHOWN ON THE
FLOOD INSURANCE RATE MAP: YES ☒ NO ☐ ZONE: _____

NAME(S) OF STREET(S) ADJACENT TO PROPERTY: East Street & Arrow Street

SET BACK FROM SHORELINE (FEET): N.A.

SET BACK FROM ROAD RIGHT OF WAY: 15 Feet

WHAT IS THE PROPOSED PERCENTAGE OF LAND TO BE COVERED? 50%

HOW WILL INGRESS AND EGRESS BE MADE AVAILABLE? Individual Driveways

NUMBER AND TYPE OF TREES TO BE CUT: N.A.

NOISE LEVEL OF PROPOSED DEVELOPMENT: Same as residential homes

IMPACT ON SURROUNDING NATURAL RESOURCES: No impact.

HOW WILL LIGHTING BE PROVIDED FOR PUBLIC SAFETY AND SECURITY: Same as residential homes

BUILDING/STRUCTURE INFORMATION

PRINCIPAL USE OF BUILDING: Single Family Residential

TYPE OF CONSTRUCTION (WOOD FRAME, BLOCK, METAL, ETC.): TBD

SQUARE FEET UNDER ROOF: TBD

SQUARE FEET OF PAVED PARKING: TBD

NUMBER OF PARKING SPACES PROVIDED: TBD

NUMBER OF RESIDENTIAL UNITS TO BE BUILT: Eleven

NUMBER OF BEDROOMS PER UNIT: TBD

WILL HAZARDOUS OR FLAMMABLE MATERIALS BE STORED OR USED ON SITE:

YES X NO

TYPE OF FIRE SUPPRESSION SYSTEM TO BE INSTALLED: N.A.

TYPE OF GROUND SPRINKLER SYSTEM TO BE INSTALLED: TBD

FOR COMMERCIAL DEVELOPMENT - NUMBER OF EMPLOYEES: N.A.

ACCESSORY STRUCTURES: TBD NUMBER TYPE

(GARAGE, SWIMMING TBD NUMBER TBD TYPE

POOLS, FENCES, NUMBER TYPE

STORAGE BLDG. ETC)

STRUCTURE HEIGHT: TBD - will not exceed land development code

BUILDING SET BACKS:

1. SIDE PROPERTY LINES: Seven Feet

2. REAR PROPERTY LINE: Fifteen Feet

3. FRONT PROPERTY LINE: Fifteen Feet

SIGNS TO BE INSTALLED: NUMBER TYPE

NOTE: CAUTION SHOULD BE TAKEN WHEN PLACING AND/OR MODIFYING A STRUCTURES IN THE AREA LOCATED ON THE IMMEDIATE WEST SIDE OF THE DUPONT BRIDGE, (ALSO KNOWN AS LONGPOINT) DUE TO POTENTIAL HIGH NOISE LEVELS CREATED BY AIRCRAFT FROM TYNDALL AFB.

UTILITIES INFORMATION

IS WATER AND SEWER CURRENTLY AVAILABLE: xx YES NO

NUMBER OF EXISTING CONNECTIONS: WATER 0 SEWER 0

PROPOSED SEWER CONNECTIONS: 11 NUMBER 4" SIZE

PROPOSED WATER CONNECTIONS: 11 NUMBER 1" SIZE

IS ADEQUATE DRAINAGE AVAILABLE FOR THIS SITE: xx YES NO

TYPE OF DRAINAGE: STATE ROAD CULVERT

(CHECK ONE) LOCAL STREET CULVERT

SWALE

RETENTION POND xx

PROPOSED METHOD OF PROVIDING DRAINAGE: Three separate stormwater mangement facilities
provide the treatment and attenuation criteria of the state and the City.

(DRAINAGE MUST MEET THE REQUIREMENTS OF A 25 YEAR, 24 HOUR STORM EVENT)

OTHER INFORMATION

X YES NO ARE OTHER STATE AND/OR FEDERAL PERMITS REQUIRED FOR THIS DEVELOPMENT?

(NOTE: IF YES, COPIES OF APPROVED STATE AND/OR FEDERAL PERMITS MUST BE SUBMITTED, EITHER WITH THIS APPLICATION OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY (CO).

YES X NO WILL THE PROPOSED DEVELOPMENT REQUIRE LARGE VOLUMES OF WATER OR SEWER CAPACITY?

YES X NO ARE WETLANDS, SALTWATER MARSHES OR FLOOD ZONES PRESENT ON THE PROPERTY?

YES X NO WILL THE PROPOSED DEVELOPMENT INCLUDE PIERS, SLIPS, BULKHEADS OR SIMILAR STRUCTURES WHICH EXTEND INTO STATE WATERS?

(NOTE: IF THE DEVELOPMENT INCLUDES ANY OF THE ABOVE, SEPARATE PERMITS WILL BE REQUIRED)

FAILURE TO COMPLY WITH THE PROVISIONS OF THIS PERMIT MAY SUBJECT THE PERMIT TO MODIFICATION(S), STOP WORK ORDERS OR CANCELLATION, IN ADDITION TO ADDITIONAL FEE OR COSTS TO THE APPLICANT UP TO AND INCLUDING LEGAL FEES.

I HEREBY CERTIFY THAT THE INFORMATION PROVIDED HEREIN IS TRUE AND CORRECT TO THE BEST OF MY KNOWLEDGE.


SIGNATURE OF OWNER (MANDATORY)


SIGNATURE OF CONTRACTOR

1-10-18

DATE

1/10/18

DATE

TO BUILDING DEPARTMENT

PLEASE BE ADVISED THAT YOU MAY ISSUE A BUILDING PERMIT TO THE ABOVE NAMED APPLICANT/CONTRACTOR ON BEHALF OF THE CITY OF PARKER.

SIGNATURE OF APPROVAL

DATE

EAST ARROW SUBDIVISION

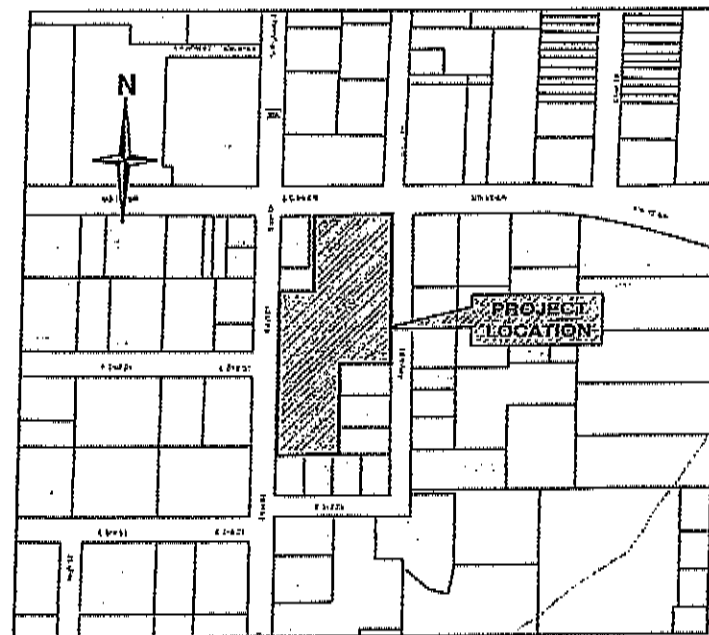
PARKER, FLORIDA

FOR:

GRECO DEVELOPMENT CORPORATION

P.O. BOX 15414

PANAMA CITY, FLORIDA 32406

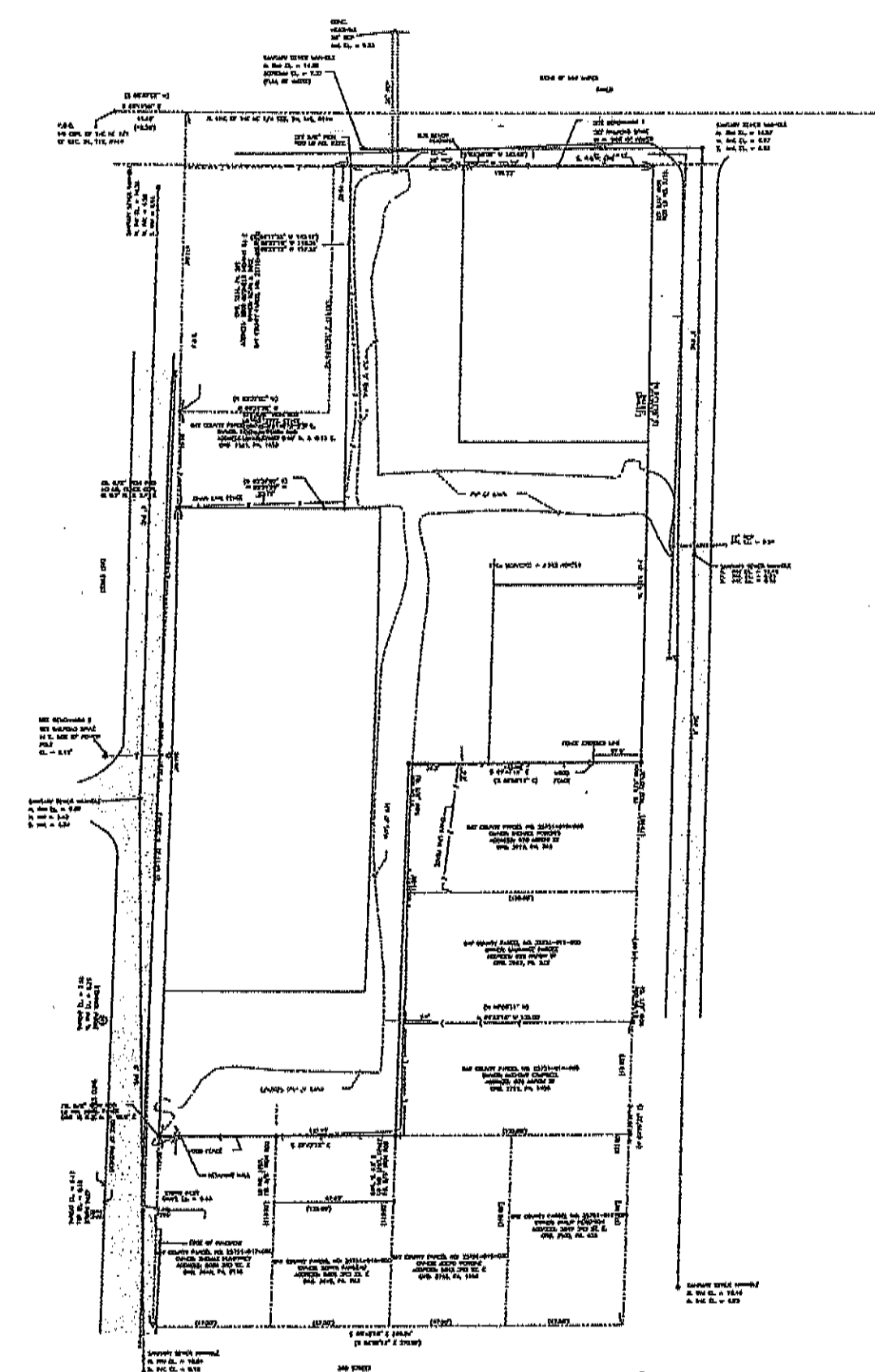


PREPARED BY:

McNEIL CARROLL ENGINEERING, INC. <i>Professional Engineering Consultants</i> STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER: 7288	475 Harrison Avenue, Suite 200 Panama City, Florida 32401 Phone: 850-763-5730 Fax: 850-763-5744
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PROJECT 470.33

INDEX OF SHEETS	SHEETS
SITE DEMOLITION PLAN	1
SITE EROSION CONTROL PLAN	2
SITE LAYOUT PLAN	3
SITE GRADING AND DRAINAGE PLAN	4
SITE GRADING AND DRAINAGE PLAN	5
POST DEVELOPMENT LOT PLAN	6
CONSTRUCTION DETAILS	7-10



1. SEE SYMBOL LEGEND ON THIS SHEET FOR SYMBOL INFORMATION AND REFERENCED DETAILS.

2. ALL DISMISSED MATERIALS (I.E., SHOWS, CONCRETE, ASPHALT, ETC...) TO BE REMOVED AND EITHER REUSED OR IN A LEGAL MANNER.

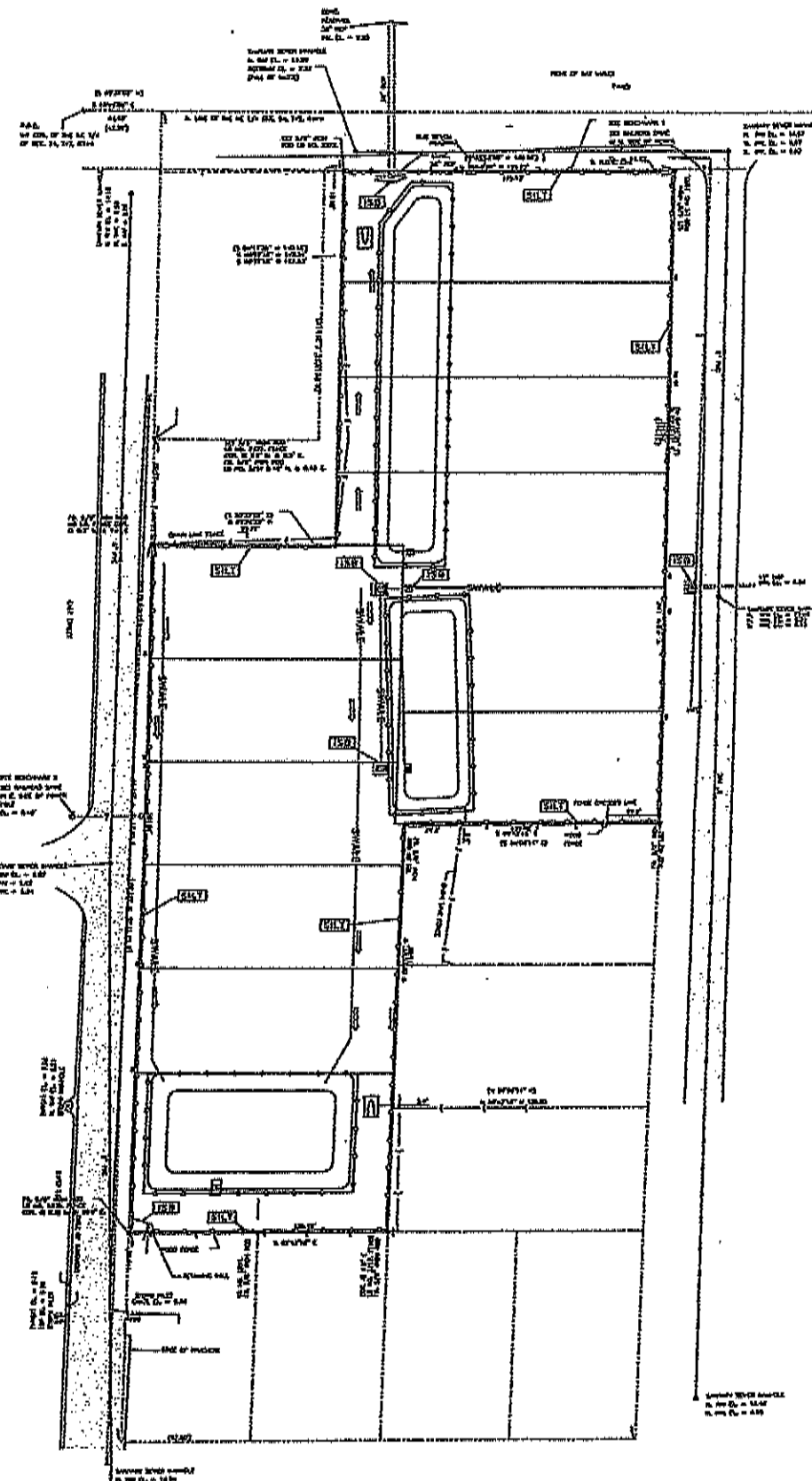
3. ALTHOUGH EVERY ATTEMPT TO LOCATE UNDERGROUND UTILITIES HAS BEEN MADE, THERE MAY BE MISSED UTILITIES. THE CONTRACTOR SHALL BE RESPONSIBLE FOR FOLLOWING REQUIRED WASTE MANAGEMENT PRACTICES AS DEFINED IN THE BAY COUNTY MUNICIPAL CODE SECTION 22-01 "UNLAWFUL DISPOSAL OF SOLID WASTE." SOLID WASTE SHALL BE REMOVED TO A DUMP, LEAVE OR BURY ANY SOLID WASTE ON PUBLIC OR PRIVATE PROPERTY.

4. IF THE CONTRACTOR IS RESPONSIBILITY TO CALL SUNSHINE ONE AT 811 FOR UTILITY LOCATES PRIOR TO CONSTRUCTION.

(CLEAN AND SHAVE AREA)

**SITE DEMOLITION PLAN
EAST ARROW SUBDIVISION
STATE ROAD 30
PARKER, FLORIDA**

NAME: STEVEN	<p align="center">McNEIL -CARROLL- ENGINEERING, INC.</p> <p align="center">Professional Engineering Consultants STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER 7288</p>	475 Harrison Avenue, Suite 200 Panama City, Florida 32401
ADDRESS: 117		Phone: 850-783-9330
CITY: 117		Fax: 850-783-9744
STATE: FL 117		
DATE: 11/15/2014		
157 PROJECT NO. 117		
157 PROJECT NAME: 117		



SITE EROSION CONTROL DRAWING NOTES:

1. EROSION CONTROL SHALL BE MAINTAINED FOR THE DURATION FOR THE PROJECT.
2. ALL CONSTRUCTION OUTSIDE OF PROPERTY LINES IS SHOWN IN DETAIL ON PERMIT DRAWINGS. (SEE GENERAL NOTES.)
3. SEE SYMBOL LEGEND ON THIS SHEET FOR SYMBOL INFORMATION AND REFERENCED DETAILS.
4. SEE SECTIONS IN CONSTRUCTION DETAILS.
5. SILT FENCE TO BE INSTALLED AT PERIMETER OF SITE DURING CONSTRUCTION. EROSION CONTROL MEASURES WILL BE UTILIZED THROUGHOUT THE CONSTRUCTION PHASE OF THIS PROJECT TO RESTRICT ANY TURBID RUNOFF FROM LEAVING THE CONSTRUCTION SITE.
6. CONTROL OF SEDIMENT-LADEN RUNOFF SHALL BE PROVIDED WITH HAY BALES AND/OR GEOTEXTILE FABRIC. MEASURES SHALL BE PROPERLY LOCATED AND MAINTAINED TO PREVENT SEDIMENT TRANSPORT. THE MEANS FOR RETAINING THE SEDIMENTS WILL BE MAINTAINED BY THE CONTRACTOR UNTIL PERMANENT IMPROVEMENTS ARE COMPLETED.
7. THE CONTRACTOR IS RESPONSIBLE FOR TREATING ALL DISCHARGE STORMWATER DRAINAGE AS REQUIRED TO MEET THE CRITERIA OF 62-5 FLORIDA ADMINISTRATIVE CODE, F.A.C. PRIOR TO DISCHARGE.
8. ALL CATCH BASINS, INLETS AND ACCESS TO UNDERGROUND STORMWATER SYSTEMS SHALL BE PROTECTED IN ACCORDANCE WITH THE ATTACHED DETAILS.
9. THE CONTRACTOR IS RESPONSIBLE FOR COMPLYING WITH THE TERMS AND CONDITIONS OF ANY STORMWATER PERMITS THAT MAY APPLY (FLORIDA DEPARTMENT OF ENVIRONMENTAL PROTECTION, FLORIDA DEPARTMENT OF TRANSPORTATION, DAY COUNTY, WATER MANAGEMENT DISTRICT, ETC.).
10. CONSTRUCTION DRIVES SHALL SLOPE AWAY FROM THE ROADWAY AT A MINIMUM SLOPE OF 2.00% TO DISTANCE OF NOT LESS THAN 15 FEET FROM THE EDGE OF PAVEMENT. THE MAXIMUM WIDTH OF THE DRIVE SHALL BE 30 FEET WITH 25% GRAVEL SURFACE 6 INCHES THICK. SIGNS SHALL BE PLACED IN ACCORDANCE WITH CITY AND STATE REQUIREMENTS TO WARN APPROACHING DRIVERS AND PEDESTRIANS.
11. THE DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR FOLLOWING REQUIRED WASTE MANAGEMENT PRACTICES AS DEFINED IN THE DAY COUNTY MUNICIPAL CODE SECTION 22-51 UNLAWFUL DISPOSAL OF WASTE, PARAGRAPH 1, WHICH MAKES IT UNLAWFUL FOR ANY PERSON TO DUMP, LEAVE OR BURY ANY SOLID WASTE ON PUBLIC OR PRIVATE PROPERTY.
12. THE DEVELOPER AND/OR CONTRACTOR IS RESPONSIBLE FOR OBTAINING COVERAGE UNDER THE DEEP CENHSE PERMIT FOR STORMWATER DISCHARGE FROM LARGE AND SMALL CONSTRUCTION ACTIVITIES PRIOR TO START OF CONSTRUCTION ON ANY DISTURBANCE OF LAND GREATER THAN 1 ACRE. THE DEVELOPER/CONTRACTOR WILL FORWARD A COPY OF THE PERMIT AND WILL PROVIDE 15-DAY NOTIFICATION TO THE APPROPRIATE AGENCIES PRIOR TO COMMENCEMENT OF CONSTRUCTION. ALL REQUIRED ELEMENTS OF THE SWPP MUST BE IN PLACE PRIOR TO COMMENCEMENT OF CONSTRUCTION. FAILURE TO COMPLY COULD RESULT IN CODE ENFORCEMENT ACTION AND FINES.
13. QUALIFIED PERSONNEL SHALL INSPECT THE FOLLOWING ITEMS AT LEAST ONCE EVERY SEVEN (7) CALENDAR DAYS AND/OR WITHIN 24 HOURS OF THE END OF A STORM EVENT (RAINFALL) THAT IS A 1/2 INCH OR GREATER:
 - A. PORTS OF DISCHARGE TO MUNICIPAL SEWER SYSTEMS.
 - B. DISTURBED AREAS OF THE SITE THAT HAVE NOT BEEN FULLY STABILIZED.
 - C. AREAS USED FOR STORAGE OF MATERIALS THAT ARE EXPOSED TO PRECIPITATION.
 - D. STRUCTURAL CONTROLS.
 - E. LOCATIONS WHERE VEHICLES ENTER OR EXIT THE SITE.
14. THE CONTRACTOR SHALL MAINTAIN RECORDS OF INSPECTIONS THAT INDICATE THE SITE IS NOT IN GOOD WORKING ORDER. TO COMPLY, THE CONTRACTOR SHALL INSTALL AND MAINTAIN RAIN GAGES AND DAILY RAINFALL RECORDS. WHEN SITES HAVE BEEN PERMANENTLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH. THE CONTRACTOR SHALL ALSO INSPECT AND CERTIFY THAT CONTROLS INSTALLED IN THE FIELD AGREE WITH THE LATEST STORMWATER POLLUTION PREVENTION PLAN.
15. IF INSPECTIONS INDICATE THAT THE INSTALL STABILIZATION AND STRUCTURAL PRACTICES ARE NOT SUFFICIENT TO MINIMIZE EROSION, RETAIN SEDIMENT, AND PREVENT DISCHARGING POLLUTANTS, THE CONTRACTOR SHALL PROVIDE ADDITIONAL MEASURES, WHICH SITES HAVE BEEN PERMANENTLY STABILIZED, INSPECTIONS SHALL BE CONDUCTED AT LEAST ONCE EVERY MONTH AS NEEDED.
16. RECORDS OF THE INSPECTIONS AND THE CONSTRUCTION PERMIT MUST BE MAINTAINED AT THE CONSTRUCTION SITE AND BE READILY AVAILABLE FOR INSPECTION.
17. ALL STORMWATER MANAGEMENT FACILITIES AND EROSION CONTROL MEASURES SHALL BE INSTALLED PRIOR TO COMMENCEMENT OF ANY CONSTRUCTION, DEMOLITION OR OTHER DISTURBANCE TO THE SUBJECT SITE.

SYMBOL LEGEND

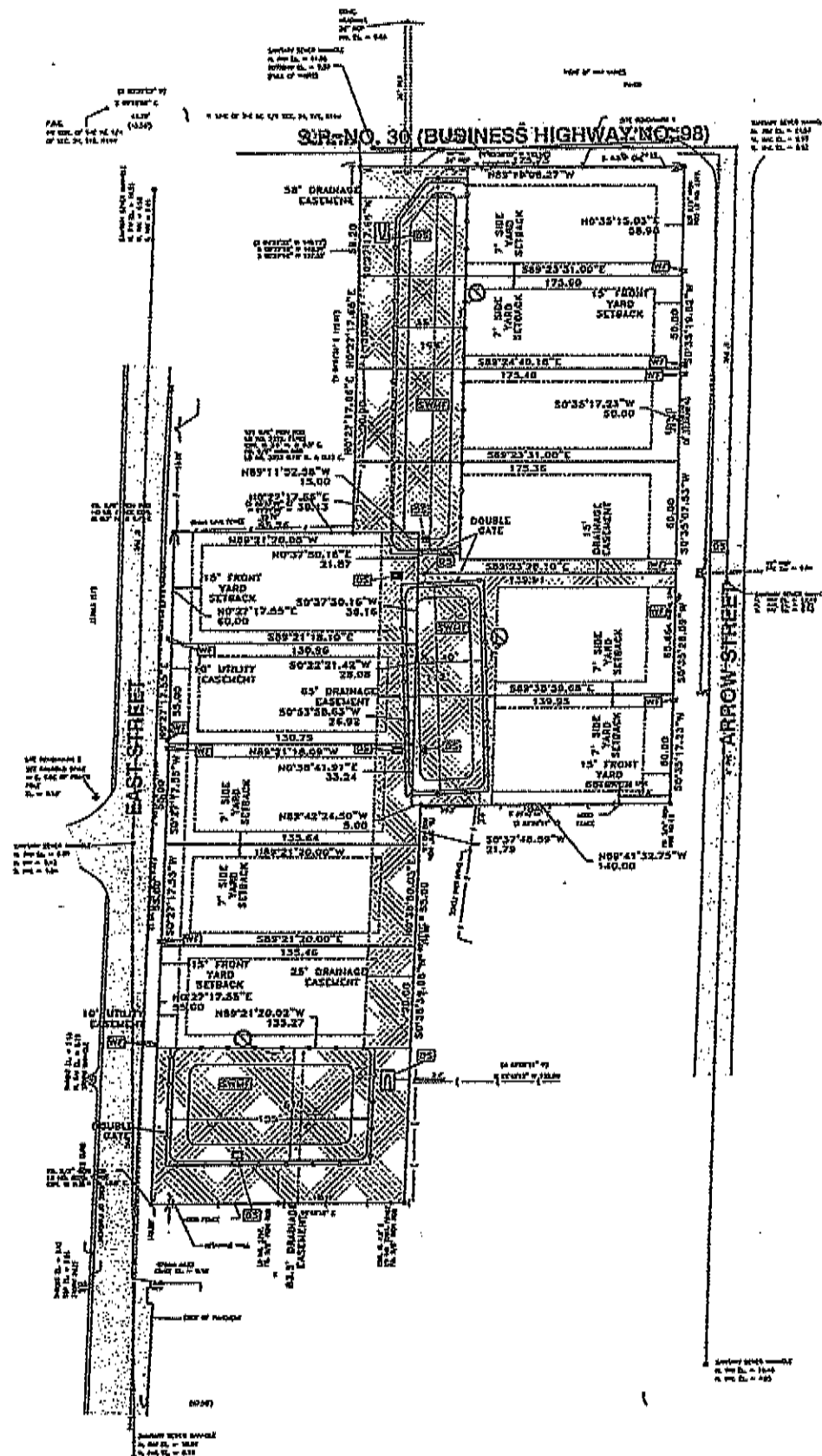
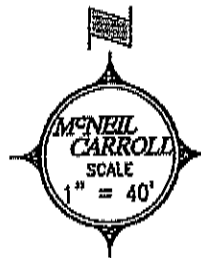
- (SYMBOL) (SEE CONSTRUCTION DETAILS)
- (SYMBOL) (SEE CONSTRUCTION DETAILS)
- (SYMBOL) (SEE CONSTRUCTION DETAILS)

DEWATERING

DEWATERING EFFLUENT OF UNCONTAMINATED GROUNDWATER SHALL BE DISCHARGED SO AS TO PREVENT NEGATIVE IMPACTS TO PUBLIC HEALTH OR SAFETY, PROPERTY, OR THE WATER RESOURCE. DEWATERING OPERATIONS SHALL BE DIRECTED TO A SEDIMENT CONTROL DEVICE OR NATURAL ATTENUATION AREA PRIOR TO DISCHARGE TO WETLANDS OR OTHER SURFACE WATERS. A SEDIMENT CONTROL MEASURE, A SETTLING POND, EXCAVATED SEDIMENT TRAP OR BASIN, DOWNSLOPE TRAP OR TEMPORARY SEDIMENT CONTROL MEASURE. A NATURAL ATTENUATION AREA MEANS A NORMALLY DRY, GRADED MEADOW OR OPEN AREA WITH EXISTING VEGETATION THAT IS NOT SUBJECT TO EROSION IF A NATURAL ATTENUATION AREA IS USED, A MINIMUM 50 FOOT SETBACK SHALL BE MAINTAINED FROM THE RECEIVING WATERS OR WETLANDS. WHEN WATER IS UNAVOIDABLY DISCHARGED TO WETLANDS OR OTHER SURFACE WATERS, THE WATER DISCHARGED SHALL BE DONE IN A MANNER THAT DOES NOT CAUSE EROSION OR OTHER DAMAGE TO ADJACENT LANDS, AND DOES NOT CONTRIBUTE TO VIOLATIONS OF WATER QUALITY STANDARDS. IN SETTLING PONDS AND SEDIMENT TRAPS OR BASINS SHALL BE IMPLEMENTED, AT A MINIMUM, IN ACCORDANCE WITH THE REQUIREMENTS OF SECTION 11.0, APPLICANT'S HANDBOOK VOLUME 1.

PERMIT PURPOSES ONLY

SITE EROSION CONTROL PLAN EAST ARROW SUBDIVISION STATE ROAD 30 PARKER, FLORIDA	
McNEIL CARROLL ENGINEERING, INC. Professional Engineering Consultants STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER 7328	
475 Harrison Avenue, Suite 200 Panama City, Florida 32401 Phone: 904-763-2555 Fax: 904-763-2444	
NO. DATE BY REVISIONS	
01	
02	
03	
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FOR THE CLIENT: Tom R. McNeil, P.E. PROFESSIONAL ENGINEER FL NO. 74705	
FOR THE ENGINEER: Robert L. Carroll, P.E. PROFESSIONAL ENGINEER FL NO. 74705	



SITE LAYOUT DRAWING NOTES:

1. CONTRACTOR SHALL PROVIDE McNEIL CARROLL ENGINEERING, INC. FIVE (5) SETS OF AS-BUILT DRAWINGS AND ONE (1) DIGITAL COPY (AUTOCAD FORMAT) OF THE COMPLETED PROJECT. DRAWINGS SHALL BE PREPARED AND SIGNED & SEALED BY A FLORIDA REGISTERED SURVEYOR.
2. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION AND SODDED PER FOOT INDEX 105.
3. A COPY OF ALL REGULATORY PERMITS SHALL BE KEPT ON SITE.
4. THE CONTRACTOR SHALL REVIEW THE COMPLETE RHWYMD PERMIT PRIOR TO CONSTRUCTION COMMENCEMENT.
5. A 4' x 8' x 1/2" 11 RHWYMD WEATHER RESISTANT SIGN, INCLUDING THE PERMIT NUMBER SHALL BE PLACED ON THE PROPERTY FACING THE ROAD.
6. ALL PROPOSED UTILITIES TO BE PLACED UNDERGROUND.

SYMBOL LEGEND

- (DOTTED LINE "W" WATER APPROPRIATION OR PROPOSED "W")
- (DOTTED LINE "W" WATER APPROPRIATION OR PROPOSED "W")
- (DOTTED LINE "W" WATER APPROPRIATION OR PROPOSED "W")
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SITE DATA TABLE			
PROJECT NO. 2024-000			
SUBDIVISION NAME - CITY OF PARKER			
SUBDIVISION - LOT 1 - 100' x 100'			
TOTAL AREA OF SITE - 1.00 ACRES			
TOTAL AREA OF PROPERTY - 1.00 ACRES			
AREA SURVEYED	1.00 ACRES	ALLOWED/PROPOSED PER LOT	1.00 ACRES
SURVEYING SURVEY RATE	1.00 ACRES	PROPOSED PER LOT	1.00 ACRES
DOUBLY	1.00 ACRES	PROPOSED PER LOT	1.00 ACRES
COPIES MADE	1.00 ACRES	PROPOSED PER LOT	1.00 ACRES
FRONT YARD SETBACK	15 FEET	PROPOSED PER LOT	15 FEET
REAR YARD SETBACK	15 FEET	PROPOSED PER LOT	15 FEET
SIDE YARD SETBACK	15 FEET	PROPOSED PER LOT	15 FEET
MINIMUM LOT AREA	1.00 ACRES	PROPOSED PER LOT	1.00 ACRES

TEMP. ESTIMATION SCHEDULE				
DESCRIPTION/TYPE CODE	UNIT DESCRIPTION	EXPECTED WINDS	EXPECTED DAILY TEMPS	P.M. PER TEMPS
SHADE TALLY NUMBER	DU	11	105	15

CALCULATION DERIVED FROM THE S.P. ESTIMATES.

PERMIT PURPOSES ONLY

SITE LAYOUT PLAN
EAST ARROW SUBDIVISION
STATE ROAD 30
PARKER, FLORIDA

McNEIL
CARROLL
ENGINEERING, INC.

Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER 7248

475 Harrison Avenue, Suite 200
Pensacola, Florida 32401
Phone: 850-763-8910
Fax: 850-763-7144

NO. DATE BY

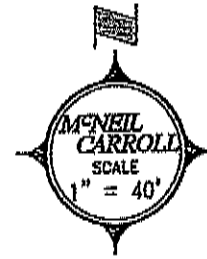
REVISIONS

Sean D. McNeil, P.E.
Professional Engineer
FL ID # 12480

Robert L. Carroll, P.E.
Professional Engineer
FL ID # 12480

3 OF 10

4750.33 - EAST ARROW SUBDIVISION



1. SEE SYMBOL LEGEND ON THIS SHEET FOR SYMBOL INFORMATION AND REFERENCED DETAILS.
2. ALL DISRUPTED MATERIALS (E.G., SIGNS, CONCRETE, ASPHALT, ETC.) TO BE REMOVED AND DISPOSED OF IN A LEGAL MANNER. ALL EXISTING MONITORING WELLS ARE NOT TO BE REMOVED. WELLS IN EXISTING SIGNAGE SHALL BE REMOVED AND REPLACES UP INSTALLED.
3. SEE SECTIONS IN CONSTRUCTION DETAILS.
4. IT IS THE CONTRACTORS RESPONSIBILITY TO CALL SUNSHINE DUE AT 811 FOR UTILITY LOCATES PRIOR TO CONSTRUCTION.
5. ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION AND SLOPED PER FOOT INDEX 10:1.
6. WHEN CONSTRUCTING ROADS, CONTRACTOR SHALL INSTALL DRAINAGE WITH GRATE. SEE CONSTRUCTION DRAWINGS.

10-14 CONJUGATE PAIR ELEMENTS?
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 10-99- CONJUGATE PAIR
 10-100- CONJUGATE PAIR

NO.	BASIN AREA	TOP OF BANK ELEV.	SIDE SLOPE	VOLUME, CU. YD.	WETTED AREA
1	0.18 AC	11.750	3:1	1.00	8.15 SQ. YD.
2	0.14 AC	11.750	3:1	0.80	6.52 SQ. YD.
3	0.14 AC	11.750	3:1	0.80	6.52 SQ. YD.

SEE SITE LAYOUT PLAN FOR DIMENSIONS

[illegible]

STORMWATER OPERATION AND MAINTENANCE SCHEDULE

(a) STORMWATER MANAGEMENT SYSTEM SHALL BE OPERATED AND MAINTAINED IN ACCORDANCE WITH THE APPROVED DESIGN, PLANS AND CALCULATIONS.

(b) THE OPERATION AND MAINTENANCE CIVIL SHALL PROVIDE FOR THE INSPECTION OF THE STORMWATER MANAGEMENT SYSTEM IN ACCORDANCE WITH SUBSECTION 62-348.06(5), F.A.C. DURING THE INSPECTION, SPECIAL ATTENTION SHOULD BE MADE TO INSURE THAT

1. ALL EXPOSURE AND SOIL IS STABILIZED TO PREVENT SEDIMENT DISCHARGE TO WATERS IN THE STATE.
2. THE SURFACE WATER MANAGEMENT SYSTEM IS KEPT FREE OF DEBRIS, TRASH, GARBAGE, AND ONE AND OTHERS.
3. ENGINEERED STORMWATER MANAGEMENT SYSTEM THAT INCLUDE OIL AND GREASE SEPARATORS, SKIMMERS, OR COLLECTION DEVICES ARE WORKING PROPERLY AND DO NOT ALLOW THE RISK OF OIL OR GREASE, DIP, AND WAXES OR OTHER MATERIALS REMOVED FROM SUCH A DEVICE DURING ROUTINE MAINTENANCE SHALL BE DISPOSED OF AT A SANITARY LANDFILL OR BY OTHER LAWFUL MEANS.
4. ALL STRUCTURES AND STORMWATER MANAGEMENT SYSTEMS HAVE NOT BECOME CLOGGED OR CHOKED WITH VEGETATIVE OR AQUATIC GROWTH TO SUCH AN EXTENT AS TO RENDER THEM UNDESIRABLE.

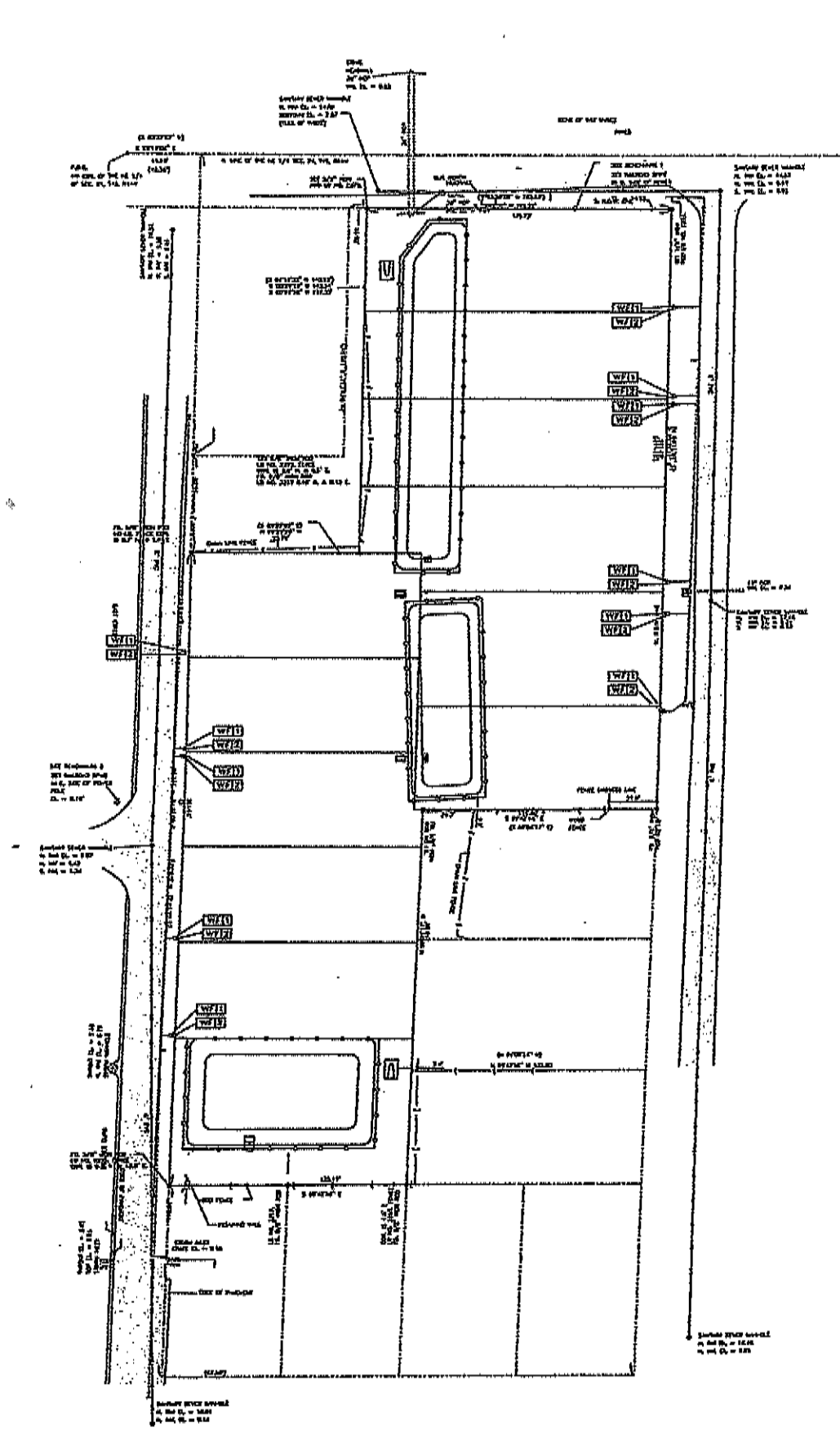
(c) INSPECTIONS OF THE PERMITTED SYSTEM SHOULD BE CONDUCTED AT LEAST ONCE EVERY THREE YEAR AFTER CONVERSION OF A PERMIT TO THE OPERATION PHASE.

SITE GRADING AND DRAINAGE PLAN
EAST ARROW SUBDIVISION
STATE ROAD 30
PARKER, FLORIDA

475 Harrison Avenue, Suite 200
Panama City, Florida 32401
Phone: 850-763-5110
Fax: 850-763-5744

NO.	DATE	BY	REVISIONS
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Robert L. Carroll, P.E.
7405 EXXONAL, EVANSTON
IL 60115



- SITE UTILITY DRAWING NOTES:**
- SEE SYMBOL LEGEND ON THIS SHEET FOR SYMBOL INFORMATION AND REFERENCED DETAILS.
 - SEE SECTION AND DETAILS IN CONSTRUCTION DETAILS.
 - ALL PROPOSED UTILITIES SHALL BE PLACED UNDERGROUND.
 - IT IS THE CONTRACTOR'S RESPONSIBILITY TO CALL SUNSHINE ONE AT 811 FOR UTILITY LOCATES PRIOR TO CONSTRUCTION.
 - ALL DISTURBED AREAS SHALL BE RESTORED TO ORIGINAL CONDITION AND 60000 PER FOOT INDEX YES.
 - A REPRESENTATIVE OF THE CITY OF PARKER SHALL BE ON SITE TO WITNESS ALL UTILITY CONNECTIONS IN THE CITY RIGHT OF WAY.

SYMBOL LEGEND

W111 SEE NOTE 1, 11 - SEE NOTES THIS SHEET

W112 SEE WATER FEATURE SCHEDULE THIS SHEET 11-114 SEE CONSTRUCTION DETAILS

W113 SEE WATER FEATURE SCHEDULE THIS SHEET 11-115 SEE CONSTRUCTION DETAILS

WATER FEATURE SCHEDULE	
NO.	TYPE
W111	1/2" MAIN WATER MAINLINE - 111-111
W112	1/2" BRANCH WATER MAINLINE - 111-111
ALL LINES SHALL BE THE COLOR BLUE	

CITY OF PARKER UTILITY CONTACTS		
UTILITY	CONTACT	PHONE
TELEPHONE	SUNSHINE STATE ONE CALL	1-800-432-4772
ELECTRIC	GEORGE POWER	1-850-872-3212
CABLE TV	COMCAST	1-850-789-0392
	ROADSIDE	1-850-747-0129
SEWER & WATER	CITY OF PARKER	1-850-871-1919
GAS	TECO PEOPLE'S GAS	1-850-872-5140
	FLORIDA GAS TRANSMISSION	1-800-432-4770

PERMIT PURPOSES ONLY

SITE UTILITY PLAN
EAST ARROW SUBDIVISION
STATE ROAD 30
PARKER, FLORIDA

McNEIL CARROLL ENGINEERING, INC.
Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER 7744

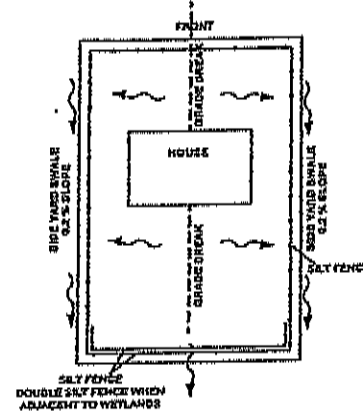
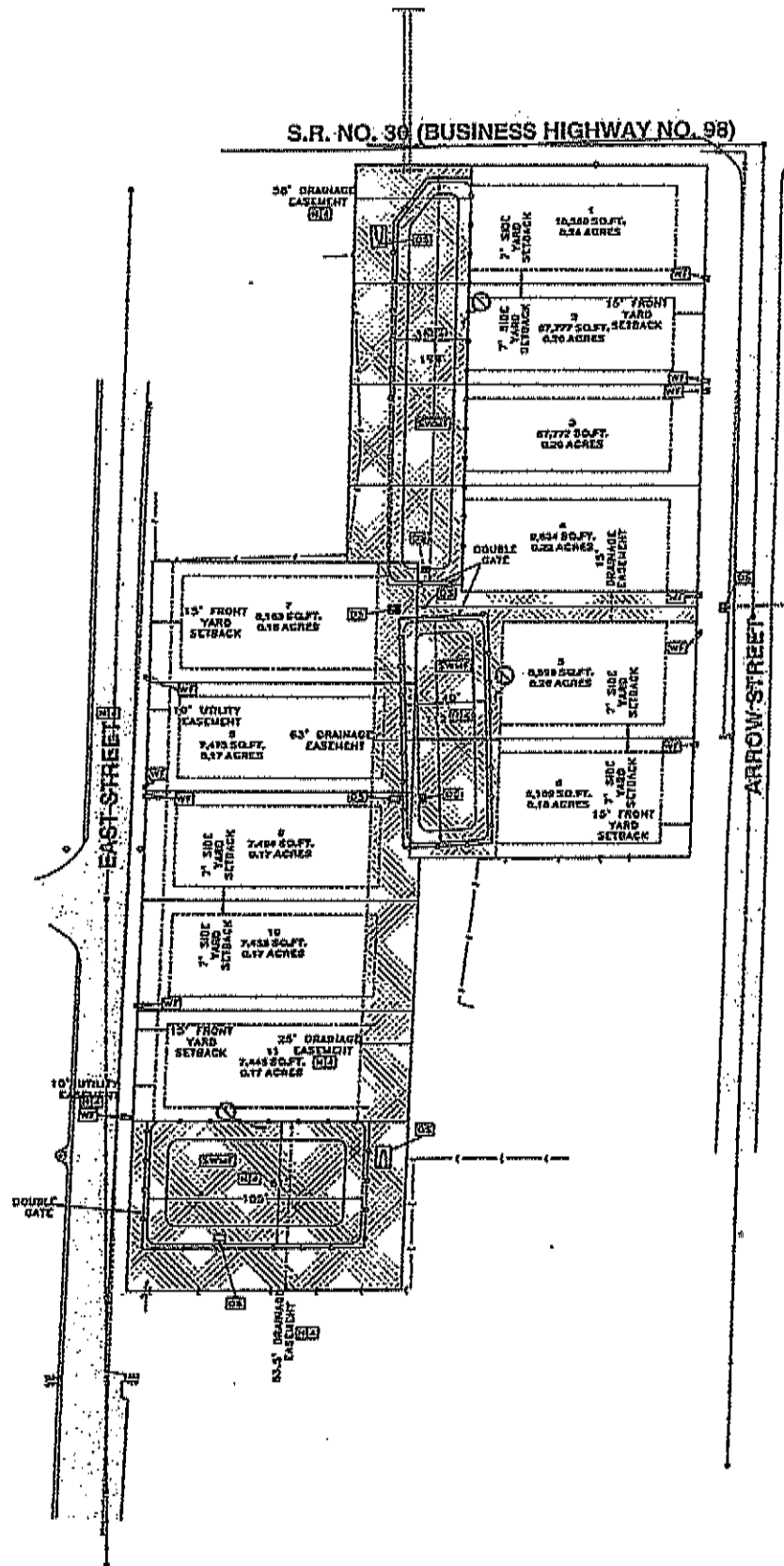
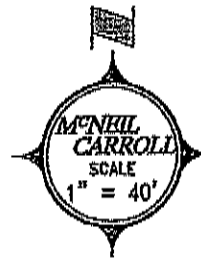
475 Harrison Avenue, Suite 200
Panama City, Florida 32401
Phone: 850-763-0220
Fax: 850-763-0244

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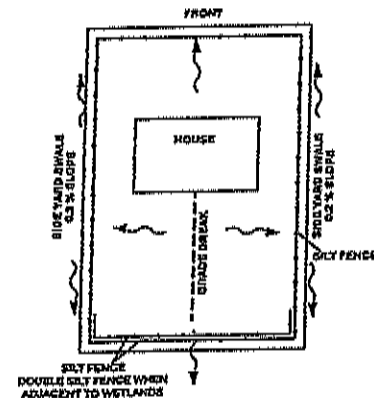
Sean D. McNeil, P.E.
Professional Engineer
FL No. 47901

Robert L. Carroll, P.E.
Professional Engineer
FL No. 47901

SHEET NUMBER
5 OF 10
1520.33 - EAST ARROW SUBDIVISION



TYPICAL LOT DRAINAGE DETAIL FOR LOTS 1-6
NOTE: CONTRACTOR SHALL INSTALL SLY FENCES PER DETAIL WHEN CLEARING LOTS



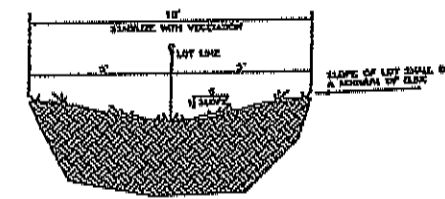
TYPICAL LOT DRAINAGE DETAIL FOR LOTS 7-11
NOTE: CONTRACTOR SHALL INSTALL SLY FENCES PER DETAIL WHEN CLEARING LOTS

POST DEVELOPMENT LOT DRAINAGE DRAWING NOTES:

- SEE SECTIONS ON THIS SHEET.
- FINISHED LOT GRADES SHALL BE LOT PURCHASERS RESPONSIBILITY.
- LOT OWNERS SHALL BE RESPONSIBLE TO CONSTRUCT DRAINAGE SWALES ALONG THE SIDE OF LOT TO PROVIDE SURFACE DRAINAGE FROM EACH LOT.
- DRAINAGE EASEMENTS SHALL BE DEDICATED TO THE CITY.
- PROPERTY OWNERS SHALL MAINTAIN EASEMENTS THAT ARE ON OR ADJUTING THEIR PROPERTY. PROPERTY OWNERS SHALL NOT HAVE ANY MATERIAL OR OBSTRUCTIONS THAT IMPED STORMWATER FLOW.
- LOT OWNERS SHALL BE RESPONSIBLE TO CONSTRUCT DRAINAGE SWALES ALONG THE SIDE OF LOT TO PROVIDE SURFACE DRAINAGE FROM EACH LOT. LOT OWNERS SHALL MAINTAIN DRAINAGE SWALES AND SHALL NOT HAVE ANY MATERIAL OR OBSTRUCTIONS THAT IMPED STORMWATER FLOW.

SYMBOL LEGEND

[Symbol] SEE NOTE 11 - SEE NOTES ON THIS SHEET



TYPICAL SIDE YARD SWALE DETAIL
NOT TO SCALE

PERMIT PURPOSES ONLY

POST DEVELOPMENT LOT PLAN
EAST ARROW SUBDIVISION
STATE ROAD 30
PARKER, FLORIDA

DATE: 10/1/00
DRAWN BY: JTF
CHECKED BY: JTF
APPROVED BY: JTF
DATE: 10/1/00
SCALE: AS SHOWN
NOT TO SCALE

MENEIL CARROLL
ENGINEERING, INC.
Professional Engineering Consultants
STATE OF FLORIDA CERTIFICATE OF AUTHORIZATION NUMBER 7203

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Panama City, Florida 32401
Phone: 850-783-0230
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NO.	DATE	BY	REVISIONS
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Sean D. McNeil, P.E.
PROFESSIONAL ENGINEER
FL NO. 11900

Robert L. Carroll, P.E.
PROFESSIONAL ENGINEER
FL NO. 11900

SHEET NUMBER
6 OF 10

1670.33 - EAST ARROW SUBDIVISION



CITY OF PARKER AGENDA ITEM SUMMARY

1. **DEPARTMENT MAKING REQUEST/NAME OF PRESENTER:**
HBO Storage Owner Gary Eilers/Engineer Jeff
Brittain

2. **MEETING DATE:**
June 19, 2018

3. **REQUESTED MOTION/ACTION:**

Consider application for development order for HBO Storage, 330 S. Tyndall Pkwy and if LDR requirements are met, grant order.

4. **IS THIS ITEM BUDGETED (IF APPLICABLE)**

YES

☐

NO

☐

N/A

☒

5. **BACKGROUND: (PROVIDE HISTORY; WHY THE ACTION IS NEEDED; WHAT GOAL WILL BE ACHIEVED FOR THE CITY)**

This project is an addition of another building with the same use as the current business. The project was presented to the Planning Commission on May 22, 2018. The Planning Commission voted to recommend approval of the development to the City Council conditioned upon an easement for the City for access to the utilities infrastructure on the property.

Since that meeting, staff have identified that water lines were not correctly drawn and that there may be inadequate flow for fire suppression. Staff and the owner and his engineer have been working on a potential solution but at the time of this agenda being published, there is none to present.

Reviewed for
HBO Storage / City of Parker

General

The HBO Storage project is a major project and generally consists of improvements to an existing development site including the addition of one new 17,600 SF storage building, demolition of one existing building, and attendant pavement improvements and restriping. Project results in no new impervious area or driveways.

Recommendations

Based on a compliance review, we find that the project is generally consistent with the LDR and recommend approval. Items 8, 15 and 16 should be considered in affirming this recommendation.

Item	Review Area	Comment
1	Type:	Major Development Order Application
2	Location:	330 South Tyndall Parkway near the SW corner of Tyndall Parkway and N. Lakewood Drive
3	Proposed Use:	Storage Units with Office/Retail Space
4	Existing Development:	Site is predominately developed with a 67,000± SF building and attendant infrastructure constructed around 1982.
5	Non-Conforming Status:	The existing condition is a lawful non-conforming site. Areas noted for nonconformity include impervious surface ration, and building setbacks.

Articles 1 – 3: The project is consistent with these sections of the LDR.

Article 4 – Land Use Districts

Item	Review Area	Comment
6	Future Land Use:	General Commercial
7	Allowable Uses:	Use is consistent with the land use district allowable uses.
8	Development Standards:	Proposed building is consistent with the development standards for height, setbacks, lot size, and floor area ratio. The existing site in the non-conforming condition exceeds the maximum lot coverage of 90%. The new improvements would not result in conformance with the maximum lot coverage requirements, but would <u>not</u> increase the non-conformance. The new improvements would reduce the lot coverage non-conformance slightly from 94.7% to 94.1%.

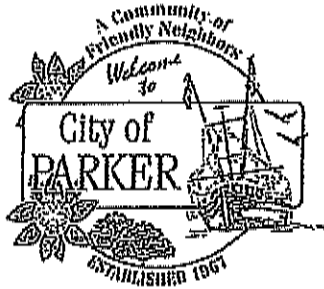
		not be expanded. Based on this interpretation, the project does not increase the non-conformity and in the case of impervious surface decreases the non-conformity. In our opinion, the new building is in compliance with the LDR to the maximum practical extent in consideration of the existing non-conforming issues and the new work should not should not result in the loss of non-conforming status for the remainder of the property and no remedial action to bring the remainder of the property into compliance with the LDR is reasonable or required.
--	--	--

Article 7 – Sign Regulations: No new signs included in project.

Article 8 – Floodplain Management: Project is not within a regulated flood zone.

Article 9 – Concurrency Management

Item	Review Area	Comment
17	Roadways, Sewer, Solid Waste, Potable Water, Recreation, Schools	A presumption of adequate capacity exists. Additionally, the nature of the project would be classified as de minimis with regard to demand for these items. Therefore, unless a known condition of inadequate capacity exists for an area, the project is consistent with the LDR.
18	Drainage	The project results in no increase in impervious area therefore runoff from the required 25-Year 24-Hour LOS standard will not be increased. The project is consistent with the LDR



CITY OF PARKER

1001 WEST PARK STREET • PARKER, FLORIDA 32404
TELEPHONE (850) 871-4104 • FAX (850) 871-6684

CITY OF PARKER
APPLICATION FOR DEVELOPMENT PERMIT
MAJOR DEVELOPMENT
NOTE: \$1000 Deposit plus review fee

Date of Submittal: 4-13-18
DO Permit #: 18-35606
Bldg Permit #: _____
Land Use Designation: Comm
Parcel ID# 24919-001-000

APPLICANT INFORMATION

NAME OF APPLICANT: Mr. Gary Eilers

ADDRESS: 330 S. Tyndall Parkway, Parker, FL 32404

TELEPHONE: 850-630-2274 EMAIL: gary@hboostorage.com

NAME OF CONTACT: Ricky Dodd, E.I., Dewberry

ADDRESS: 203 Aberdeen Parkway, Panama City, FL 32405

TELEPHONE: 850-571-1180 EMAIL: rdodd@dewberry.com

SITE INFORMATION

SITE LOCATION: 330 S. Tyndall Parkway, Parker, FL 32404
(MUST INCLUDE ADDRESS)

CURRENT USE OF SITE: Storage Units

PROPOSED USE OF SITE: Storage Units with Office/Retail Space

SIZE (SQ. FT. / ACRES): 5.92 Acres

SOIL TYPES LOCATED ON PROPERTY: See attached NRCS Soils Map

TOPOGRAPHY ELEVATIONS LOCATED ON PROPERTY: 27.5'-29.5' See attached Grading Plan

IS THE PROPOSED STRUCTURE WITHIN A DESIGNATED FLOOD ZONE AS SHOWN ON THE
FLOOD INSURANCE RATE MAP: YES ☒ NO ☐ ZONE: X

NAME(S) OF STREET(S) ADJACENT TO PROPERTY: N-S. Suddath Plaza, E-S. Tyndall Parkway

SET BACK FROM SHORELINE (FEET): N/A

SET BACK FROM ROAD RIGHT OF WAY: Approx. 77'

WHAT IS THE PROPOSED PERCENTAGE OF LAND TO BE COVERED? _____

There is no proposed increases in impervious area. The proposed project includes a reduction in the total amount of impervious area with Landscape Islands.

HOW WILL INGRESS AND EGRESS BE MADE AVAILABLE? Existing Access off of S. Tyndall Parkway

NUMBER AND TYPE OF TREES TO BE CUT: None

NOISE LEVEL OF PROPOSED DEVELOPMENT: Minimal

IMPACT ON SURROUNDING NATURAL RESOURCES: None

HOW WILL LIGHTING BE PROVIDED FOR PUBLIC SAFETY AND SECURITY:

Lights will be mounted on the Proposed Building

BUILDING/STRUCTURE INFORMATION

PRINCIPAL USE OF BUILDING: Storage Units

TYPE OF CONSTRUCTION (WOOD FRAME, BLOCK, METAL, ETC.): Metal

SQUARE FEET UNDER ROOF: 17,600 SF

SQUARE FEET OF PAVED PARKING: Approx. 32,400 SF (mill and overlay)

NUMBER OF PARKING SPACES PROVIDED: 2 HC, 26 Regular, 23 Truck/Trailer

NUMBER OF RESIDENTIAL UNITS TO BE BUILT: None

NUMBER OF BEDROOMS PER UNIT: N/A

WILL HAZARDOUS OR FLAMMABLE MATERIALS BE STORED OR USED ON SITE:

YES X NO

~~TYPE OF FIRE SUPPRESSION SYSTEM TO BE INSTALLED:~~ Sprinkler System

TYPE OF GROUND SPRINKLER SYSTEM TO BE INSTALLED: See Landscape and Irrigation Plan

FOR COMMERCIAL DEVELOPMENT - NUMBER OF EMPLOYEES:

ACCESSORY STRUCTURES: N/A NUMBER TYPE

(GARAGE, SWIMMING N/A NUMBER TYPE

POOLS, FENCES, 465 LF NUMBER 6' Decorative Iron Fencing TYPE

STORAGE BLDG. ETC)

STRUCTURE HEIGHT: <30'

BUILDING SET BACKS:

1. SIDE PROPERTY LINES: North- 17', South-308'

2. REAR PROPERTY LINE: 202'

3. FRONT PROPERTY LINE: 77'

SIGNS TO BE INSTALLED: 1 NUMBER (To be Permitted Separately) TYPE

NOTE: CAUTION SHOULD BE TAKEN WHEN PLACING AND/OR MODIFYING A STRUCTURES IN THE AREA LOCATED ON THE IMMEDIATE WEST SIDE OF THE DUPONT BRIDGE, (ALSO KNOWN AS LONGPOINT) DUE TO POTENTIAL HIGH NOISE LEVELS CREATED BY AIRCRAFT FROM TYNDALL AFB.

UTILITIES INFORMATION

IS WATER AND SEWER CURRENTLY AVAILABLE: X YES NO

NUMBER OF EXISTING CONNECTIONS: WATER 1 SEWER 1

PROPOSED SEWER CONNECTIONS: 1 NUMBER 6" SIZE

PROPOSED WATER CONNECTIONS: 1 NUMBER 2" SIZE

IS ADEQUATE DRAINAGE AVAILABLE FOR THIS SITE: X YES NO

TYPE OF DRAINAGE: STATE ROAD CULVERT

(CHECK ONE) LOCAL STREET CULVERT

SWALE


RETENTION POND X

Type C inlets to convey the stormwater to the Conveyance Swale along the southern property line.
(DRAINAGE MUST MEET THE REQUIREMENTS OF A 25 YEAR, 24 HOUR STORM EVENT)

X YES NO ARE OTHER STATE AND/OR FEDERAL PERMITS REQUIRED FOR THIS DEVELOPMENT? (Exemption Verification Through NFWFMD)
(NOTE: IF YES, COPIES OF APPROVED STATE AND/OR FEDERAL PERMITS MUST BE SUBMITTED, EITHER WITH THIS APPLICATION OR PRIOR TO ISSUANCE OF CERTIFICATE OF OCCUPANCY (CO).)

YES X NO ARE WETLANDS, SALTWATER MARSHES OR FLOOD ZONES PRESENT ON
THE PROPERTY?

FAILURE TO COMPLY WITH THE PROVISIONS OF THIS PERMIT MAY SUBJECT THE PERMIT TO MODIFICATION(S), STOP WORK ORDERS OR CANCELLATION, IN ADDITION TO ADDITIONAL FEE OR COSTS TO THE APPLICANT UP TO AND INCLUDING LEGAL FEES.


SIGNATURE OF OWNER (MANDATORY)

DATE _____

PLEASE BE ADVISED THAT YOU MAY ISSUE A BUILDING PERMIT TO THE ABOVE NAMED APPLICANT/CONTRACTOR ON BEHALF OF THE CITY OF PARKER.

DATE _____



Brett J. Cyphers
Executive Director

Northwest Florida Water Management District

180 E. Redstone Avenue, Crestview, FL 32539

Phone: (850) 683-5044 • Fax: (850) 683-5050

April 25, 2018

Gary Eilers
HBO Storage
330 South Tyndall Pkwy
Parker, FL 32404-6724

Re: HBO Storage
Application # PDEX-005-18493-1
(Please reference the above number on all correspondence)

Dear Gary Eilers:

The Northwest Florida Water Management District (District) received your application on April 19, 2018 requesting an exemption verification for the referenced project.

Based on the information provided, the District has determined that the project is eligible for an exemption under 62-330.051(2). Therefore, the project will not need a District permit pursuant to rule reference.

This exemption verification only applies to the requirements of the District and does not relieve you of meeting the permit requirements of other agencies. Please contact Erica Bundrick at (850) 683-5044 if you have any questions.

Sincerely,

A handwritten signature in black ink, appearing to read "Andrew Joslyn".

Andrew Joslyn
ERP Bureau Chief

GEORGE ROBERTS
Chair
Panama City

JERRY PATE
Vice Chair
Pensacola

JOHN W. ALTER
Secretary-Treasurer
Malone

GUS ANDREWS
DeFuniak Springs

JON COSTELLO
Tallahassee

MARC DUNBAR
Tallahassee

TEDE EVERETT
Chipley

NICK PATRONIS
Panama City Beach

BO SPRING
Port St. Joe

HBO STORAGE

GARY EILERS
PARKER, BAY COUNTY, FLORIDA



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www.call4sunshine.com

APRIL 2018

A vicinity map of Bay County, Florida. The map shows the outline of Florida with its counties labeled. Bay County is highlighted in the northwestern part of the state. An inset map shows the location of Bay County within the state of Florida. The Gulf of Mexico is labeled to the west, and the Atlantic Ocean is labeled to the east. The map also shows major cities and highways in the region.

PROJECT LOCATION

<u>TITLE</u>	<u>NO.</u>
COVER	
EX. CONDITIONS SURVEY (BY SEA LEVEL)	
GENERAL NOTES	1
DEMOLITION & EROSION CONTROL PLAN	C1
SITE PLAN	C2
GRADING & DRAINAGE	C3
UTILITY PLAN	C4
SWPP & EROSION CONTROL DETAIL	D1
DETAILS	D2-D4



Dawson Engineers Inc.
203 Aberdeen Parkway
Panama City, FL 32405
850.522.0644

HBO STORAGE
GARY EILERS
PARKER
BAY COUNTY, FLORIDA

SEAL

JEFFREY DATTAIN, P.E. 59269
EB00087B4

**PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION**

SCALE

NO SCALE

[illegible]

NO.	DESCRIPTION	DATE
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DRAWN BY SR

APPROVED BY

CHECKED BY RD

DATE APRIL 2010

UNCLASSIFIED//FOR OFFICIAL USE ONLY

TITLE

GENERAL NOTES.

PROJECT NO. 50102318

1

SHEET NO.

GENERAL NOTES:

1. EXISTING DRAINAGE STRUCTURES WITHIN CONSTRUCTION LIMITS SHALL REMAIN UNLESS OTHERWISE NOTED.
2. ALL PROPOSED GROUND ELEVATIONS ARE FINISHED SOO ELEVATIONS. FINISH EARTHWORK GRADING SHALL BE 0.2 FEET BELOW ELEVATIONS SHOWN TO ALLOW FOR SOO THICKNESS.
3. SODDING INCLUDES MAINTAINING SLOPES AND SOO UNTIL COMPLETION AND ACCEPTANCE OF TOTAL PROJECT OR GROWTH IS ESTABLISHED, WHICHEVER COMES LAST, UNTIL THEN, ALL EROSION, SILTATION AND MAINTENANCE OF GRADES IS THE RESPONSIBILITY OF THE CONTRACTOR.
4. WHERE EXCAVATIONS ARE IN CLOSE PROXIMITY OF TREES, THE CONTRACTOR SHALL USE EXTREME CARE IN NOT DAMAGING THE ROOT SYSTEM. NO EQUIPMENT, SUPPLIES, OR VEHICLES SHALL BE STORED OR PARKED WITHIN THE DRIP LINE OF TREES TO REMAIN AND BE PRESERVED. IT SHALL BE THE RESPONSIBILITY OF THE CONTRACTOR TO INFORM ALL EMPLOYEES AND SUBCONTRACTORS OF THIS REQUIREMENT AND TO ENFORCE SAME.
5. THE CONTRACTOR SHALL NOTIFY UTILITY OWNERS THROUGH SUNSHINE STATE ONE CALL OF FLORIDA (800-432-4770) AND UTILITY OWNERS LISTED BELOW AT LEAST TWO (2) FULL BUSINESS DAYS IN ADVANCE OF BEGINNING CONSTRUCTION ON THE JOB SITE. THE CONTRACTOR SHALL WAIT THE REQUIRED TIME FOR BURIED UTILITIES TO BE LOCATED AND MARKED. THE CONTRACTOR SHALL PROTECT THE MARKS DURING CONSTRUCTION. IF THE MARKS ARE DESTROYED, THE CONTRACTOR SHALL CALL SUNSHINE STATE ONE CALL FLORIDA AGAIN. THE CONTRACTOR SHALL DO SO SAFELY, USING EXTREME CAUTION, WHEN DIGGING WITHIN 24 INCHES ON EITHER SIDE OF THE MARKS TO AVOID HITTING THE BURIED UTILITY LINES.

<u>OWNER</u>	<u>CONTACT</u>	<u>PHONE</u>
GULF POWER	KENNY DOUGLAS	850-505-5561
TECO GAS	ROLAND MOORE	850-914-8125
CITY OF PARKER	TONY SUMMERLIN	850-828-6472

6. THE PROPOSED CONSTRUCTION SHALL COMPLY WITH THE AMERICANS WITH DISABILITIES ACT (ADA), THE ADA COMPLIANCE HANDBOOK, LATEST EDITION, AND THE FLORIDA ACCESSIBILITY CODE.
7. ALL DISTURBED AREAS WITHIN THE LIMITS OF CONSTRUCTION THAT ARE NOT PAVED SHALL BE RESTORED WITH SO2 TO A CONDITION EQUAL TO OR SUPERIOR TO THAT EXISTING PRIOR TO COMMENCEMENT OF WORK.
8. ALL INLETS SHALL BE PROTECTED AS PER FDEP BEST MANAGEMENT PRACTICES, AND THE FDEP/FOOT EROSION AND SEDIMENT CONTROL HANDBOOK.
9. THE CONTRACTOR SHALL PROTECT ALL GRASSED AREAS FROM DISCARDED CONCRETE AND EXCESS MATERIALS. ALL DISCARDED CONCRETE AND EXCESS MATERIALS SHALL BE REMOVED FROM THE RIGHT-OF-WAY (OR JOB SITE) ON A DAILY BASIS.
10. THE CONTRACTOR IS TO MAINTAIN AND KEEP STREET NAME IDENTIFICATION (STREET SIGNS) VISIBLE DURING CONSTRUCTION OPERATIONS, IN ORDER TO FACILITATE EMERGENCY VEHICLE TRAFFIC.
11. ANY KNOWN OR SUSPECTED HAZARDOUS MATERIAL FOUND ON THE PROJECT BY THE CONTRACTOR SHALL IMMEDIATELY BE REPORTED TO THE CONSTRUCTION PROJECT ADMINISTRATOR WHO SHALL DIRECT THE CONTRACTOR TO PROTECT THE AREA OF KNOWN OR SUSPECTED CONTAMINATION FROM FURTHER ACCESS. THE ENGINEER IS TO NOTIFY THE FOOT DISTRICT 3 CONTAMINATION IMPACTS COORDINATOR (PIC) OF DISCOVERY. THE PIC ADMINISTRATOR WILL ARRANGE AN INVESTIGATION, IDENTIFICATION AND REMEDIATION OF THE HAZARDOUS MATERIAL. THE CONTRACTOR SHALL NOT RETURN TO THE AREA OF CONTAMINATION UNTIL APPROVAL IS PROVIDED BY THE CONSTRUCTION PROJECT ADMINISTRATOR. THE PIC WILL ADVISE THE CONSTRUCTION PROJECT ADMINISTRATOR.
12. THE EROSION CONTROL PLAN SHALL BE IN ACCORDANCE WITH FDOT DESIGN STANDARD 102 AND THE FDOT/FDEP EROSION & SEDIMENT CONTROL HANDBOOK.
13. ALL PROPOSED CURB RAMPS SHALL BE CONSTRUCTED IN ACCORDANCE WITH FOOT STANDARDS AND ADA REQUIREMENTS.
14. ALL ADA DETECTABLE WARNING MATS (DWM) SHALL EXTEND THE FULL WIDTH OF THE CURB RAMP AND EXTEND 2 FT. FROM THE TOE OF THE CURB RAMP. ALL DETECTABLE WARNING MATS BE IN ACCORDANCE WITH FOOT INDEX 304 AND SPECIFICATION 597, COLOR SAFETY YELLOW. ALL ADA DETECTABLE WARNING SYSTEMS MUST BE ON THE FOOT APPROVED PRODUCTS LIST.
15. CONTRACTOR SHALL NOTIFY ALL ADJACENT PROPERTY OWNERS, IF THEIR LANDSCAPING IS TO BE REMOVED, TO COORDINATE THE REMOVAL AND POSSIBLE RELOCATION.
16. DEWATERING: SHOULD LOWERING OF GROUNDWATER BE NECESSARY FOR THE INSTALLATION OF CONCRETE STRUCTURES, OR TO PREVENT LATERAL MOVEMENT OF CONCRETE ALREADY PLACED, SUCH LOWERING SHALL BE ACCOMPLISHED BY MEANS OF A WELL POINT SYSTEM OR OTHER APPROVED MEANS, AT CONTRACTOR'S EXPENSE. COMPREHENSIVE PLANS FOR DEWATERING OPERATIONS, IF USED, SHALL BE SUBMITTED BY THE CONTRACTOR PRIOR TO INSTALLATION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ALL PERMITTING ASSOCIATED WITH DEWATERING.
17. THE CONTRACTOR SHALL BE RESPONSIBLE FOR ACQUIRING ANY NECESSARY NPDES PERMIT.
18. END OF CURBS SHALL TRANSITION FROM FULL TO ZERO HEIGHT OVER 6 FEET UNLESS OTHERWISE SPECIFIED AS A CURB RAMP.
19. THE CONTRACTOR SHALL REPAIR OR REPLACE ANY METERS, VALVES, SERVICE LATERALS, FIRE HYDRANTS, MAINS, WATER, WASTEWATER, OR GAS FACILITIES DAMAGED DURING CONSTRUCTION AT NO ADDITIONAL COST TO THE CITY.
20. SWEEPING SHALL OCCUR DAILY OR IMMEDIATELY AFTER SUCH EVENTS THAT CAUSE TRACKING ONTO STREET.
21. ALL SIGNAGE IMPACTED BY CONSTRUCTION ACTIVITIES SHALL BE RELOCATED BY CONTRACTOR ACCORDING TO FOOT STANDARDS.
22. REMOVAL OF EXISTING AND/OR TEMPORARY PAVEMENT MARKINGS SHALL BE ACCOMPLISHED BY THE FOLLOWING METHODS: MILLING AND/OR ASPHALT OVERLAY, SAND OR WATER BLASTING, OR OTHER MEANS APPROVED BY THE PROJECT ADMINISTRATOR. GRINDING SHALL ONLY BE PERMITTED IN NON-TRAFFIC AREAS. USE OF BLACK PAINT TO COVER EXISTING AND/OR TEMPORARY PAVEMENT MARKINGS IS PROHIBITED.
23. ALL PROPOSED STRIPING AND MESSAGES SHALL BE THERMOPLASTIC. THERMOPLASTIC IS TO BE USED FOR FINAL STRIPING ONLY. INTERMEDIATE STRIPING SHALL BE PAINTED.
24. ALL PROPOSED INLETS SHALL HAVE 6" BUMP BOTTOMS (12" DIA.) PER FOOT INDEX 301.
25. ALL MALBOSES IMPACTED BY CONSTRUCTION SHALL BE REPLACED IN ACCORDANCE WITH FDOT INDEX 532.
26. ALL WORK SHALL BE PERFORMED IN ACCORDANCE WITH THE LATEST FDEP, FOOT, AND BAY COUNTY STANDARDS AND SPECIFICATIONS.
27. CONTRACTOR SHALL MAINTAIN EX. DRAINAGE PATTERNS DURING CONSTRUCTION. LAY DOWN AREAS AND MATERIALS SHALL NOT IMPED THE FLOW OF STORMWATER RUNOFF.
28. CONTRACTOR SHALL MAINTAIN SAFE ACCESS FOR VEHICLES AND PEDESTRIANS ACCESSING THE PARKING LOT AND BUILDING, DURING CONSTRUCTION.

GRAVITY SEWER INSTALLATION RELATED ITEMS:

1. ALL GRAVITY SEWER PIPE, MANHOLES, SERVICE LATERALS AND PIPE BEDDING SHALL BE INSTALLED ACCORDING TO ENGINEERING DRAWINGS AND SPECIFICATIONS.
2. THE CONTRACTOR SHALL VERIFY HORIZONTAL AND VERTICAL LOCATIONS OF ALL EXISTING SEWER MAINS AND SEWER LATERALS TO BE CONNECTED TO PRIOR TO CONSTRUCTION.
3. ALL GRAVITY SEWER PIPE SIZES 4" TO 15" AND DEPTHS UP TO 15 FEET SHALL BE PVC AND IN ACCORDANCE WITH ASTM D-3034-ADNR26, UNLESS SPECIFIED OTHERWISE.
4. ALL SEWER SERVICE LATERAL CONNECTIONS SHALL BE INSTALLED A MINIMUM OF 5 FEET FROM THE NEAREST MANHOLE AND HAVE A 2 FEET MINIMUM SEPARATION BETWEEN MANHOLE. ALL SEWER SERVICE LATERALS CONNECTIONS TO NEW PVC SEWER PIPE SHALL BE MADE WITH GASKETED PVC TEE OR W/VE FITTINGS. SADDLE CONNECTIONS SHALL NOT BE ALLOWED.
5. ALL SEWER SERVICE LATERALS SHALL BE 4 INCHES UNLESS NOTED OTHER WISE. THE MINIMUM SEWER SERVICE LATERAL PIPE SLOPE SHALL BE: 4 INCHES=2%; 6 INCHES= 1%; 8 INCHES=0.5%.
6. LOCATOR TAPE SHALL BE INSTALLED 12" TO 18" ABOVE ALL GRAVITY SEWER MAINS AND SERVICE LATERALS AND LOCATOR TAPE SHALL BE MARKED "SANITARY SEWER BELOW".
7. ALL CONNECTIONS TO EXISTING SEWER MAINS AND LATERALS OF DISSIMILAR MATERIALS SHALL BE MADE WITH STRONG BACK FLEXIBLE REPAIR COUPLINGS.
8. MANHOLES SHALL BE A MINIMUM FOUR (4) FOOT DIAMETER AND CONSTRUCTED PER THE STANDARDS AND SPECIFICATIONS.
9. ALL MANHOLE BENCHES SHALL BE REPAIRED OR REPLACED AS NECESSARY TO HAVE SMOOTH TRANSITIONS THROUGH MANHOLE.
10. ALL GRAVITY SEWER PIPE (MAINS AND LATERALS) SHALL HAVE AIR TEST AND COLOR CCTV INSPECTION COMPLETED AND APPROVED BY THE ENGINEER PRIOR TO ROADWAY RESURFACING.
11. CCTV INSPECTIONS SHALL BE COMPLETED IMMEDIATELY AFTER FLUSHING WITH CLEAN WATER. ANY DEBRIS ENCOUNTERED WILL RESULT IN A FAILED INSPECTION AND PRESSURE TEST.
12. GRAVITY SEWER PIPE SAGS SHALL NOT EXCEED MORE THAN 10% OF THE PIPE DIAMETER.

UTILITY GENERAL NOTES:

1. ALL MAINS SHALL BE INSTALLED ACCORDING TO ENGINEERING PLANS AND SPECIFICATIONS.
2. ALL VALVES AND MATERIALS SHALL COMPLY WITH AWWA (AMERICAN WATER WORKS ASSOCIATION) STANDARDS, LATEST EDITION.
3. THE CONTRACTOR WILL BE REQUIRED TO REMOVE & REPLACE ITEMS ENCOUNTERED IN THE FIELD, i.e. SIGNS, FENCING, POST, etc.
4. MAINS SHALL HAVE A MINIMUM OF 36" COVER UNLESS APPROVED BY ENGINEER.
5. CONTRACTOR IS TO FURNISH "AS BUILT PLANS" INDICATING LOCATIONS OF ALL FITTINGS, VALVES, AND DEAD END RUNS WITH THREE (3) PHYSICAL FEATURES (LOT CORNERS, TREES, ETC.).
6. BASE AND BACKFILL MATERIALS SHALL BE EITHER OF THE SAME TYPE AND COMPOSITION AS THE MATERIALS REMOVED, OR OF EQUAL OR GREATER STRUCTURAL ADEQUACY. MATERIALS CONTAMINATED WITH DELETERIOUS SUBSTANCES DURING EXCAVATION SHALL NOT BE USED FOR FILL.
7. THE CONTRACTOR SHALL BE RESPONSIBLE FOR DETERMINING THE EXACT LOCATION OF EXISTING UTILITIES, AND TO DETERMINE IF OTHER UTILITIES WILL BE ENCOUNTERED DURING THE COURSE OF THE WORK, AND TAKE WHATEVER STEP NECESSARY TO PROVIDE FOR THEIR PROTECTION.
8. UTILITIES SHOWN ON THE PLAN MAY NOT BE ACCURATE AND ALL UTILITIES MAY NOT BE SHOWN.
9. THE CONTRACTOR SHALL NOTIFY ALL UTILITY OWNERS 48 HOURS PRIOR TO COMMENCING CONSTRUCTION AND SHALL VERIFY LOCATION OF ALL UTILITIES PRIOR TO EXCAVATION.
10. ALL PAVEMENT SHALL BE CUT AND PATCHED IN ACCORDANCE WITH ENGINEERING PLANS AND SPECIFICATIONS.
11. ALL CONCRETE ENCASED DUCTILE IRON SHALL BE WRAPPED WITH A PLASTIC MATERIAL AND TAPED TOGETHER BEFORE CONCRETE IS PLACED AROUND THE PIPE.
12. WHERE THERE IS LESS THAN 1' CLEARANCE BETWEEN PVC/DI PIPE AND OTHER PIPE OR SPECIFIED AREAS, THE PIPE SHALL BE ENCASED WITH 6" THICKNESS AROUND THE PIPE AND 6" CLEARANCE EACH WAY IN THE AXIAL DIRECTION.
13. THE CONTRACTOR SHALL REMOVE AND REPLACE, TO THEIR ORIGINAL NATURE, ALL DISTURBED MATERIALS OR OBJECTS WITHIN THE PATH OF THE NEW UTILITIES AS NECESSARY. ALL REPLACED MATERIALS SHALL BE EQUAL OR BETTER AND SHALL BE APPROVED BY THE ENGINEER. THIS INCLUDES ALL LANDSCAPING WITHIN THE RIGHT OF WAY IN THE PATH OF THE NEW UTILITIES.
14. THE CONTRACTOR SHALL VISIT THE SITE PRIOR TO BIDDING. THE SURVEY MAY NOT SHOW ALL OBJECTS WITHIN THE PATH OF THE NEW UTILITIES. IF OBJECTS ARE NOT SHOWN ON THE SURVEY, THE CONTRACTOR SHALL NOTIFY THE ENGINEER WITHIN 7 DAYS PRIOR TO THE BID DATE. CONTRACTOR WILL BE RESPONSIBLE FOR REPLACEMENT OF ALL OBJECTS NOT SHOWN ON THE SURVEY.
15. ALL CONSTRUCTION AREAS NEAR WETLANDS ARE TO BE MONITORED CLOSELY FOR EROSION. SILT FENCE AND HAY BALES SHALL BE USED IN THESE AREAS. CONTRACTOR SHALL FOLLOW ALL THE FEDERAL DREDGE AND FILL PERMIT REQUIREMENTS IF APPLICABLE. SEE SPECIFICATIONS.
16. ALL SPOL MATERIAL SHALL BE PLACED ON THE UPLAND SIDE OF ANY SLOPED CONSTRUCTION AREA.
17. THE CONTRACTOR SHALL TAKE WHATEVER STEPS NECESSARY TO PREVENT EROSION INTO NEARBY WETLANDS.
18. INSULATED 12 GA. LOCATING WIRE SHALL BE INSTALLED ON TOP OF ALL NON-METALLIC PIPE, WHICH INCLUDES SERVICE CONNECTIONS. ALL LOCATING WIRE SHALL BE CONNECTED AND SHALL TERMINATE IN VALVE BOXES AND METER BOXES AS SHOWN IN THE DETAILS.
19. ALL PIPE SHALL BE INSTALLED IN DRY CONDITIONS. WELL POINTING MAY BE REQUIRED AT THE DIRECTION OF THE ENGINEER. WELL POINTS OR BODK PIPE MAY BE USED.
20. CONTRACTOR SHALL FOLLOW ALL OSHA REQUIREMENTS FOR CONSTRUCTION.
21. THE CONTRACTOR SHALL FOLLOW ALL CONDITIONS OF THE PERMIT REQUIREMENTS. SEE SPECIFICATIONS FOR COPY OF PERMITS.
22. ALL DISTURBED AREAS SHALL BE SOLODED.
23. A ONE FOOT STRIP OF SO2 SHALL BE INSTALLED ON THE EDGE OF ALL ASPHALT OVERLAY AREAS AND AROUND ALL ABOVE GROUND CONCRETE STRUCTURES INCLUDING BUT NOT LIMITED TO VALVE PADS, BLOW OFF VAULTS, AND AIR RELEASE VAULTS.
24. CONTRACTOR SHALL PROVIDE ALL FITTINGS, SLEEVES AND TRANSITION ADAPTERS AS NECESSARY TO COMPLETE THIS PROJECT.
25. CONTRACTOR SHALL COMPLETE RESTORATION WITHIN 2 WEEKS OF SUCCESSFUL PIPE PRESSURE TESTING AT ANY GIVEN LOCATION. TEST SHALL BE PERFORMED VALVE TO VALVE WITHIN ONE WEEK OF COMPLETING THAT SECTION. PRESSURE TESTING SHALL TAKE PLACE EVERY 2 WEEKS DURING CONSTRUCTION FOR ANY PIPE INSTALLED IN THAT PERIOD.
26. DATA FLOW SYSTEMS WILL PERFORM ANY REQUIRED TRAINING FOR THE VFO CONTROL WITH THE SCADA SYSTEM TO THE BID USER.
27. GRAVITY SEWER MANHOLES LOCATED WITHIN PAVEMENT SHALL BE FLUSH WITH PROPOSED GRADE. GRAVITY SEWER MANHOLES LOCATED WITHIN GRASSED AREAS SHALL BE 3 INCHES ABOVE PROPOSED GRADE.

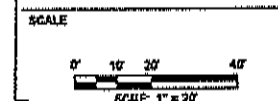
APR 12, 2018 10:34:11 AM
KIMMELIN, JESSICA
PLEASE ADVISE A CRIMINAL DOB: 19600801050000118-01W, HOME: 0671 0803 0804

**HBO STORAGE
GARY EILERS
PARKER
BAY COUNTY, FLORIDA**

SEAL

JEFFREY BRITAIN, P.E. 58269
EB 0008704

**PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION**



REVISIONS

NO.	DESCRIPTION	DATE

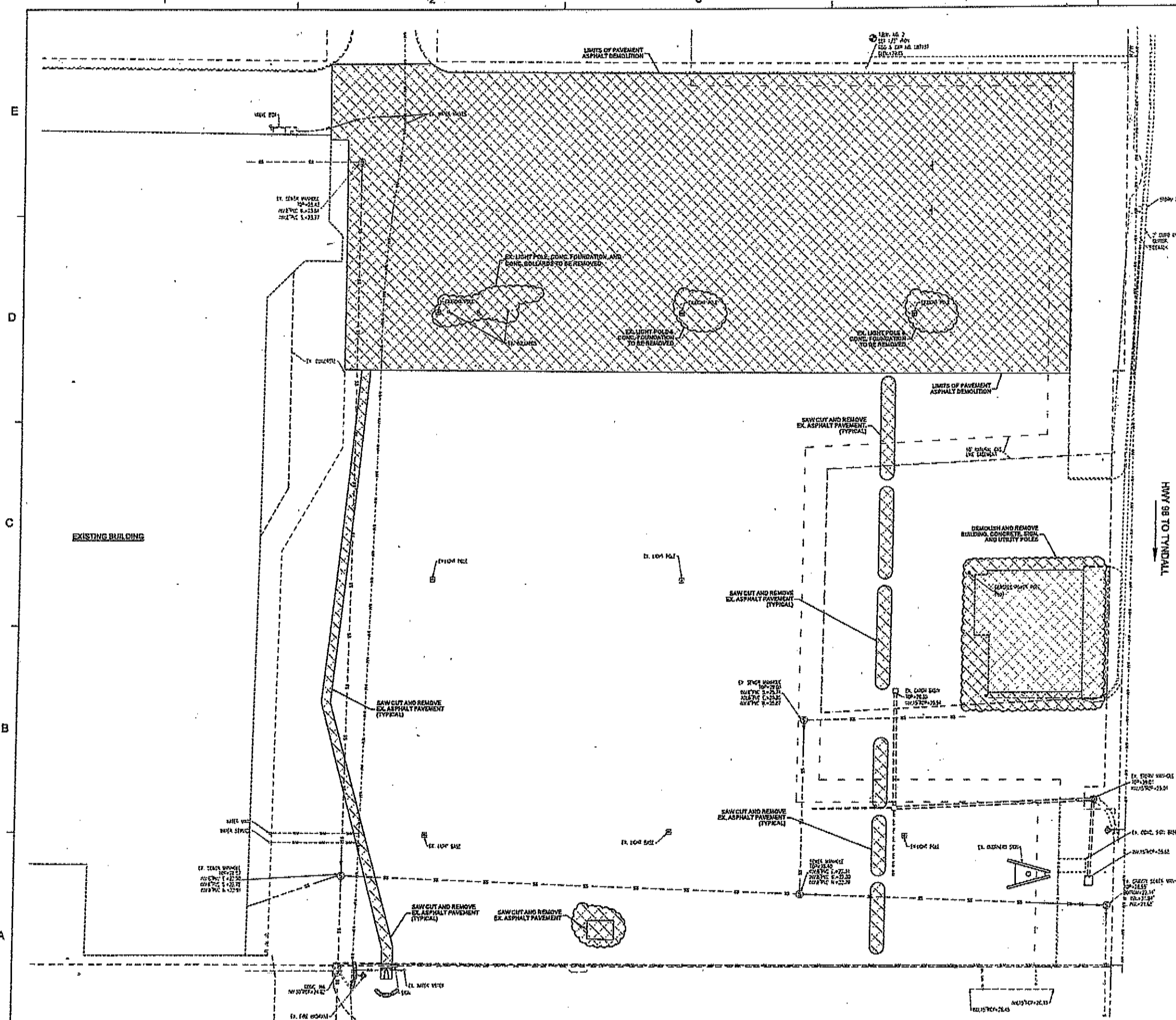
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APPROVED BY JB
CHECKED BY RD
DATE APRIL 2018

**DEMOLITION
PLAN & EROSION
CONTROL PLAN**

PROJECT NO. 50102318

C1

SHEET NO.



NOTES:
1. ASPHALT SHOULD BE DEMOLISHED BY EITHER MILLING OR EXISTING ASPHALT OR BY REMOVING COMPLETELY.
2. BASE MATERIAL SHALL REMAIN INTACT.

LEGEND:

	EX. WATER MAIN
	EX. STORMWATER
	EX. BASEMENT
	EX. ROADWAY
	EX. OVERHEAD UTILITIES
	EX. CONCRETE
	EX. TYPICAL PAVEMENT
	EX. SANITARY SEWER
	EX. SANITARY SEWER LHM
	EX. FIRE HYDRANT
	EX. ASPHALT
	EX. TYPE B ASPHALT
	CONCRETE
	SYNTHETIC GRASS PROTECTION



Dewberry Engineers Inc.
203 Aberdeen Parkway
Panama City, FL 32405
850.522.0544

HBO STORAGE
GARY EILERS
PARKER
BAY COUNTY, FLORIDA

SITE DATA TABLE		
GOVERNMENT ENTITY - CITY OF PARKER		
FUTURE LAND USE - GENERAL COMMERCIAL		
TOTAL AREA OF SITE - 232,000 SF		
CLOSER ZONE AND PROPERTY - ZONE 2		
TOTAL AREA OF BUILDINGS - 17,600 SF		
TOTAL NUMBER OF UNITS PROPOSED - 1 STORAGE BUILDING WITH OFFICE AND RETAIL SPACE		
BUILDING HEIGHT - 300 FEET		
	ALLOWED/REQUIRED	EXISTING/PROPOSED
TOTAL IMPERVIOUS SURFACE AREA	232,000 SF	244,000 SF / 242,011 SF
IMPERVIOUS SURFACE RATIO	60%	64.7% / 64.1%
PERCH AREA RATIO	1.0	0.24% / 0.231%
FRONT YARD SETBACK	15 FT	20 FT
REAR YARD SETBACK	7 FT	10 FT
REAR YARD SETBACK	7 FT	10 FT

SEAL

JEFFREY BATTAIN, P.E. 50269
EB0006794

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

死亡结果

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CHECKED BY RD
DATE APRIL 2010

SITE PLAN

PROJECT NO. SD102314

C2

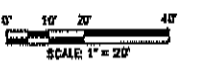
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2014

JEFFREY BRITAIN, P.E. 59269
EA0006754

**PRELIMINARY DOCUMENTS
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SCALE



NOTE:
1. ALL PROPOSED TYPE "I" INLETS ARE PER FOOT DRAINAGE.
2. ALL PROPOSED INLETS TO HAVE A 6" JUMP.

REVISIONS

[illegible]

NO.	DESCRIPTION	DATE
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	APPROVED BY	JB
	CHECKED BY	RD
	DATE	APRIL 2018

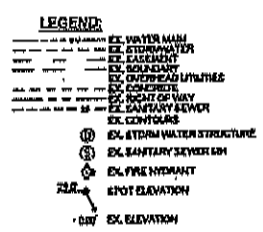
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GRADING & DRAINAGE PLAN

PROJECT NO. 50102018

C3

SHEET NO.



**HBO STORAGE
GARY EILERS
PARKER
BAY COUNTY, FLORIDA**

SEAL

JEFFREY BRITAIN, P.E. 06269
EB 0000784

**PRELIMINARY DOCUMENTS
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SCALE



REVISIONS

NO.	DESCRIPTION	DATE

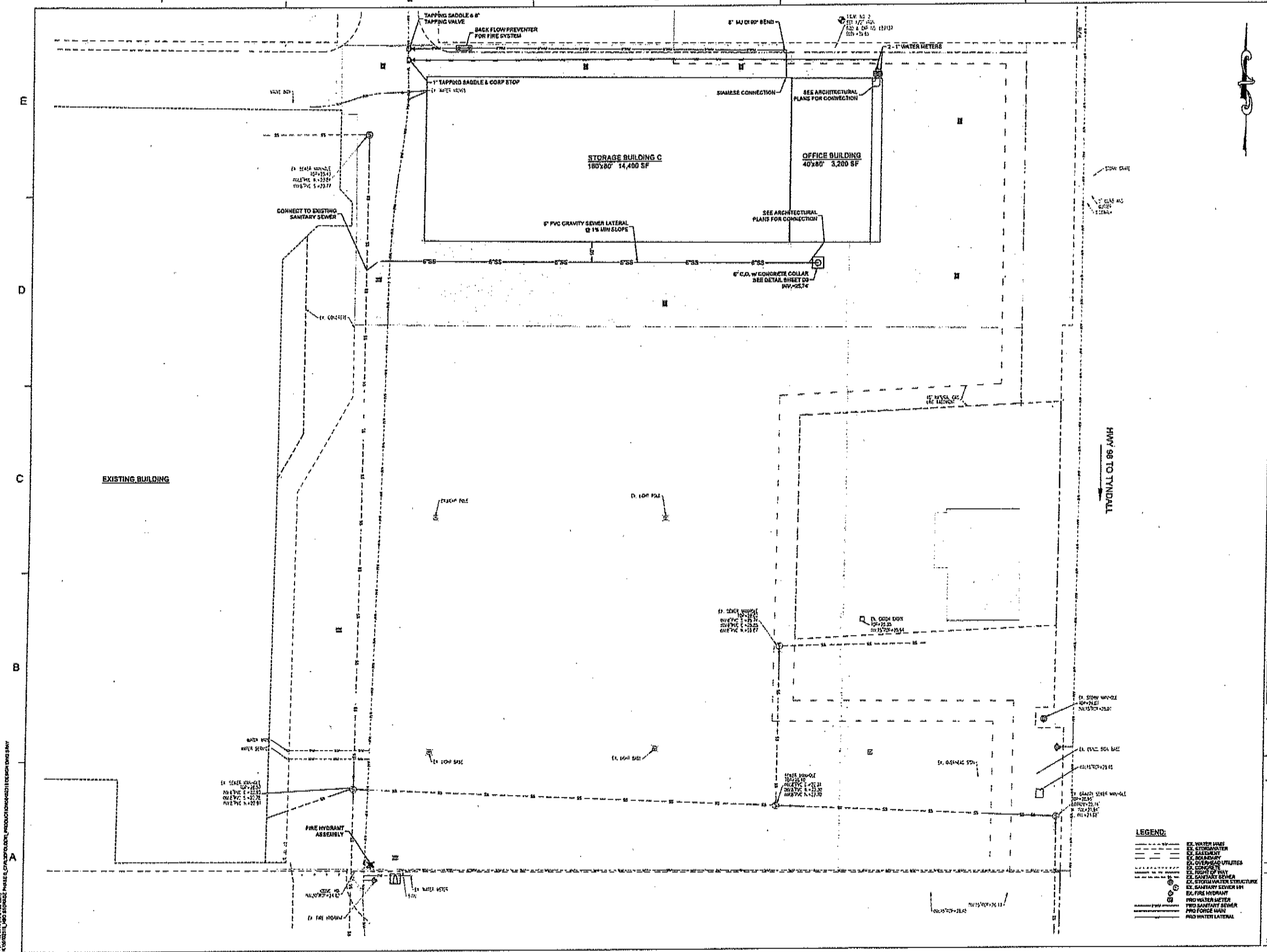
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APPROVED BY JS
CHECKED BY RD
DATE APRIL 2018

TITLE
UTILITY PLAN

PROJECT NO. 50102018

C4

SHEET NO.



LEGEND:

- EX. WATER MAIN
- EX. STORMWATER
- EX. GASWATER
- EX. BOLLARD
- EX. OVERHEAD UTILITIES
- EX. CONCRETE
- EX. RIGHT OF WAY
- EX. SANITARY SEWER
- EX. STORMWATER STRUCTURE
- EX. SANITARY SEWER MAN
- EX. FIRE HYDRANT
- PRO WATER METER
- TWO SANITARY SEWER
- PRO FORCE MAIN
- PRO WATER LATERAL

HBO STORAGE
GARY EILERS
PARKER
BAY COUNTY, FLORIDA

SEAL

JEFFREY BRITAIN, P.E. 50269
FL 0005764

PRELIMINARY DOCUMENTS
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SCALE

NO SCALE

REVISIONS

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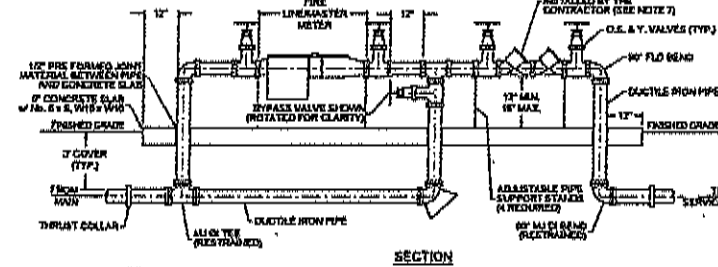
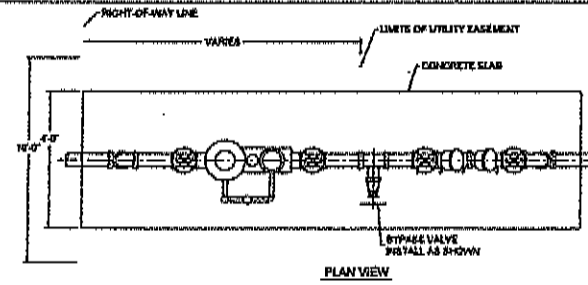
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CHECKED BY RD
DATE APRIL 2018

TITLE
DETAILS

PROJECT NO. 50102318

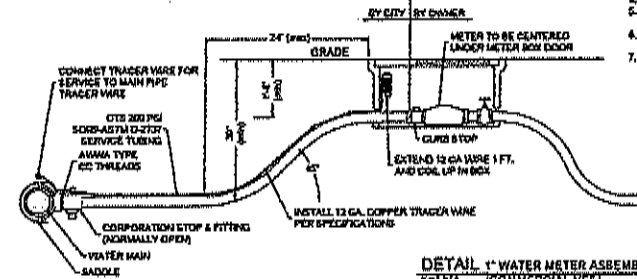
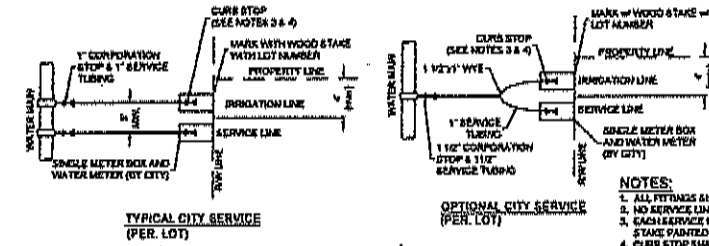
D2

SHEET NO.



- NOTES:
1. MASTER METER SHALL BE PROVIDED BY THE OWNER, AND INSTALLED BY CONTRACTOR.
 2. ALL ABOVE GROUND PIPE AND FITTINGS SHALL BE PLANNED DUCTILE IRON.
 3. PROVIDE PROTECTION AGAINST FREEZING FOR ALL ABOVE GROUND PIPE.
 4. ALL ITEMS ABOVE GRADE SHALL HAVE TWO COATS OF APPROVED BLUE EPOXY OR RED CHAMEL (DECATED FIRE) PAINT.
 5. ALL VALVES SHALL HAVE HAND WHEELS.
 6. BYPASS VALVE SHALL BE CHAINED AND PADLOCKED IN CLOSED POSITION.
 7. BACKFLOW DEVICE SHALL BE RPE OR DC TYPE AS APPROVED BY GOVERNING BODY.

DETAIL: FIRE LINE MASTER METER
SCALE: N.T.S. ASSEMBLY



- NOTES:
1. ALL FITTINGS SHALL BE BRASS WITH COMPRESSOR JOINT TYPE CONNECTIONS.
 2. NO SERVICE LINE SHALL TERMINATE UNDER A DRIVEWAY.
 3. EACH SERVICE LINE SHALL TERMINATE AT A CURB STOP WHICH SHALL BE FASTENED TO A 1x4x36\"/>

SEAL

JEFFREY BRITAIN, P.E. 59289
E3000784

PRELIMINARY DOCUMENTS
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SCALE

NO SCALE

REVISIONS

NO.	DESCRIPTION	DATE

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DATE	APRIL 2018

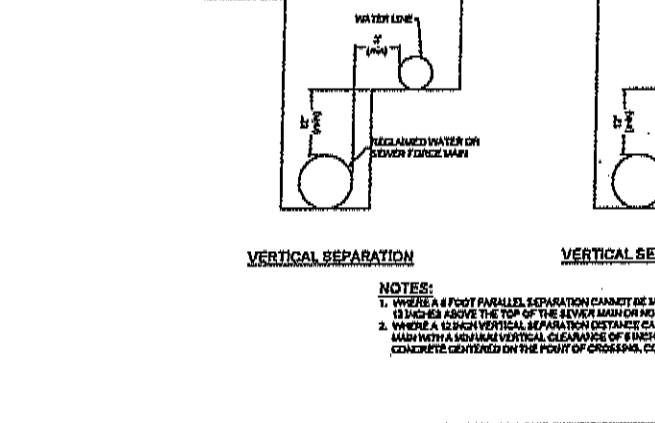
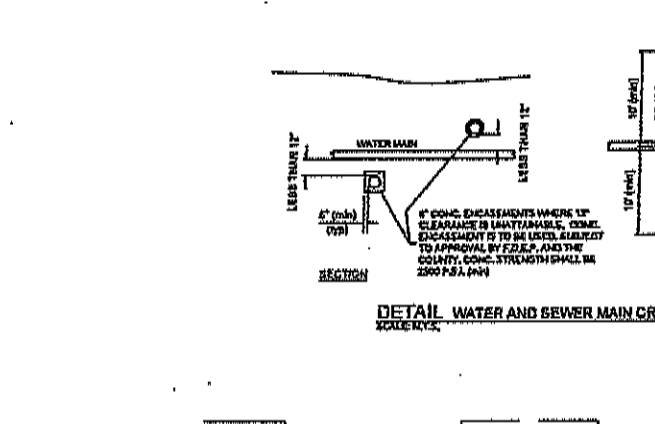
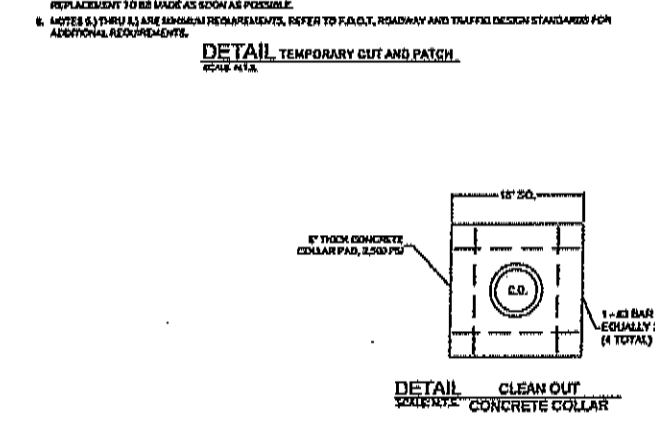
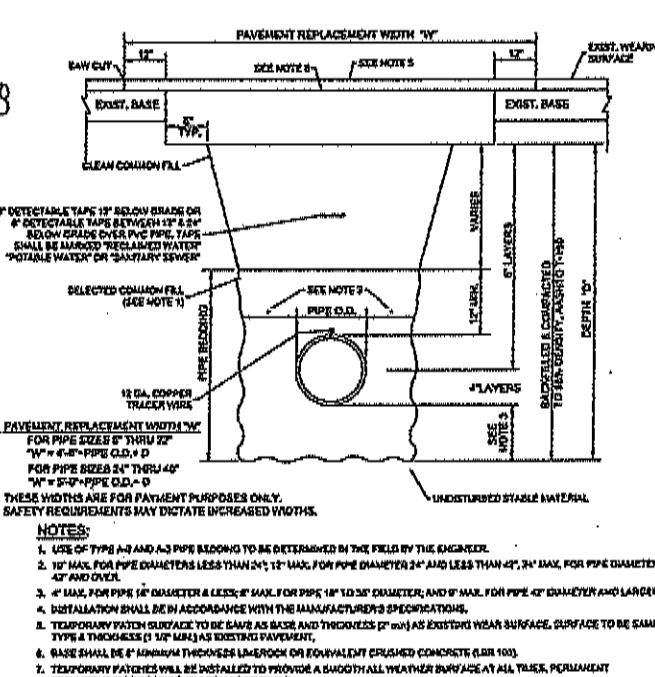
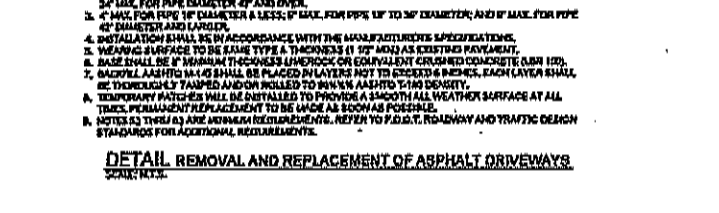
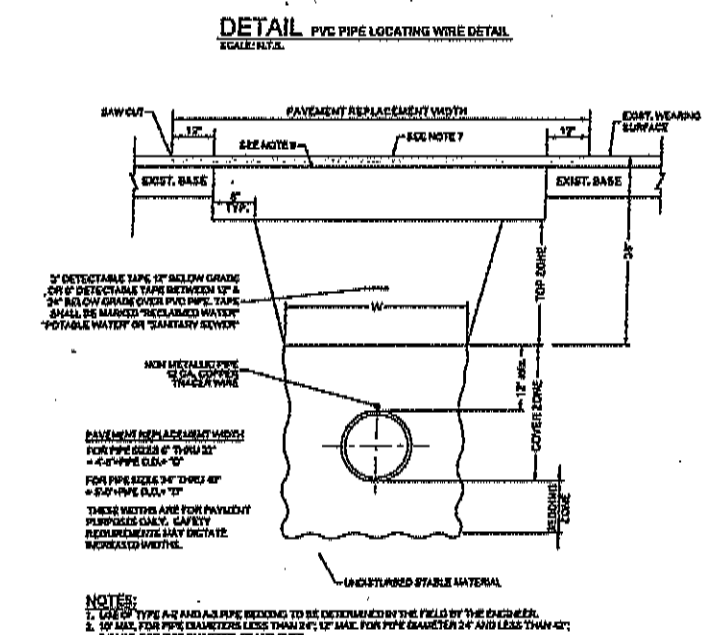
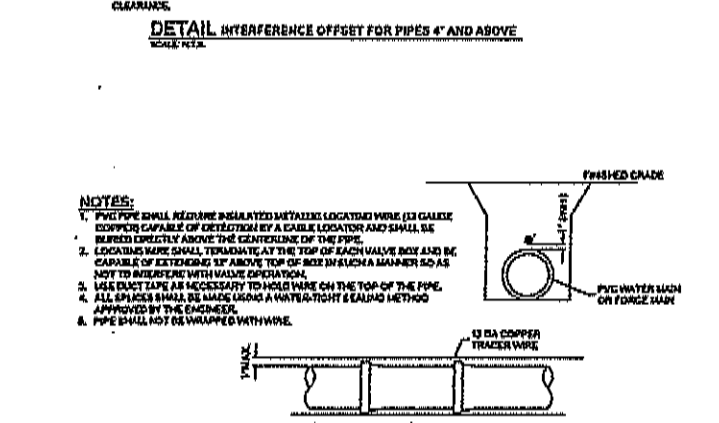
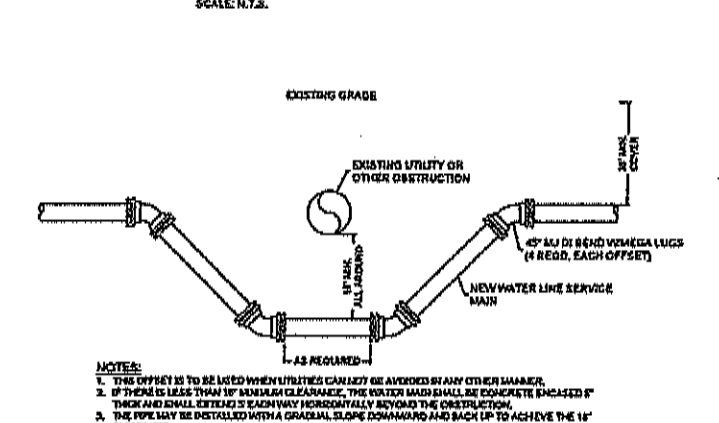
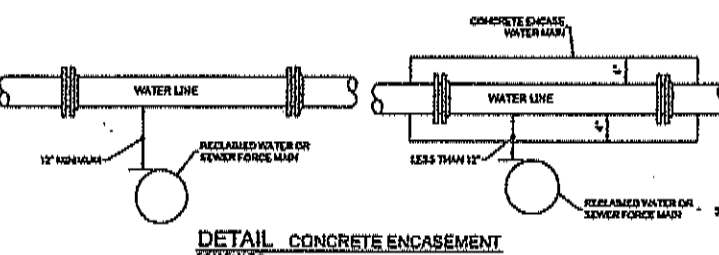
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DETAILS

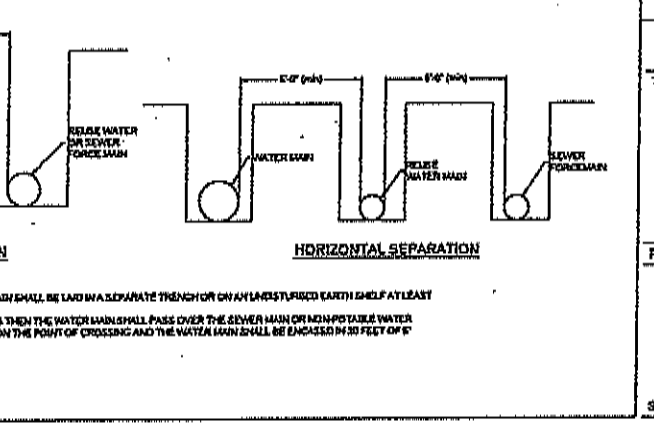
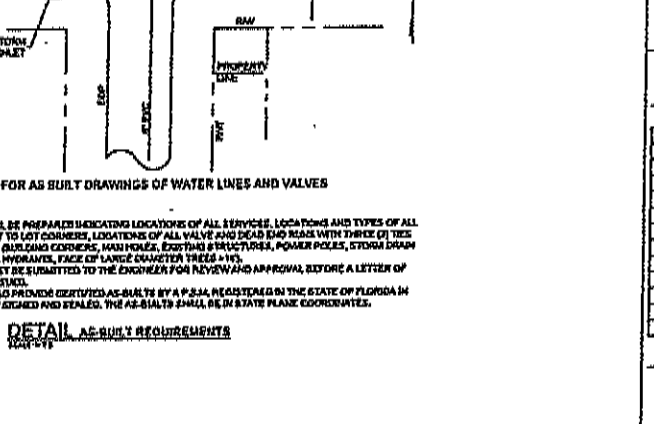
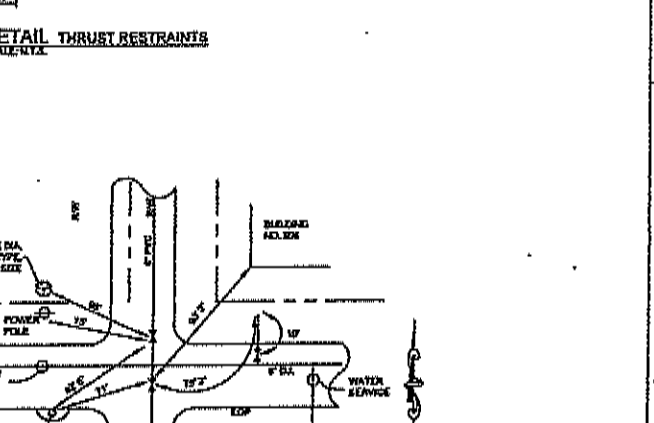
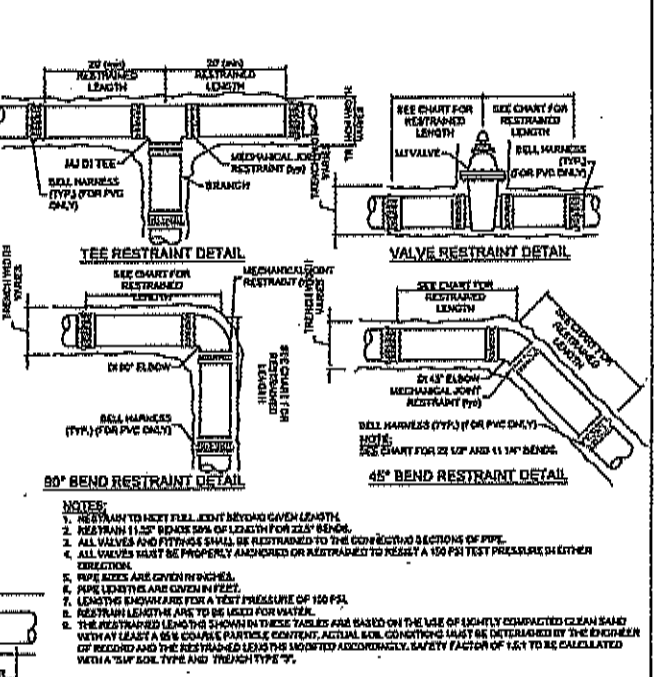
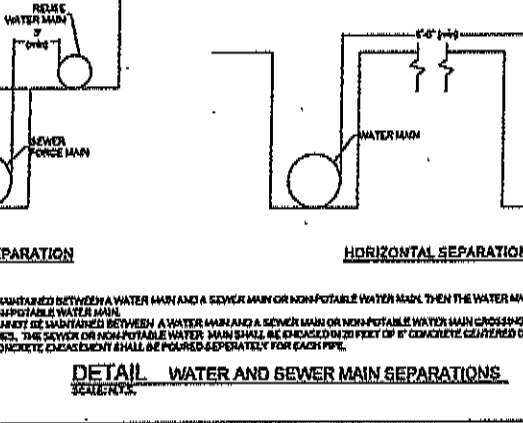
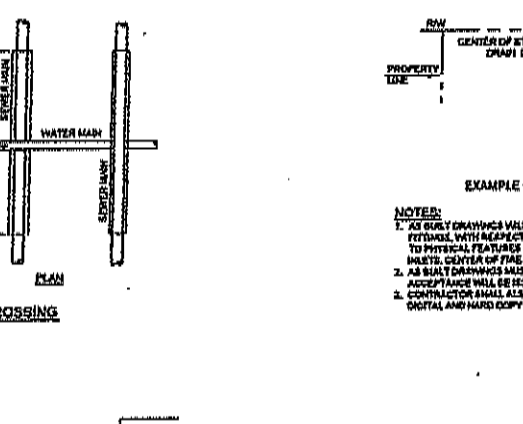
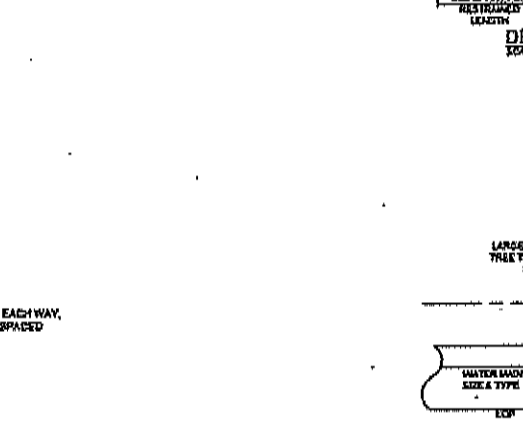
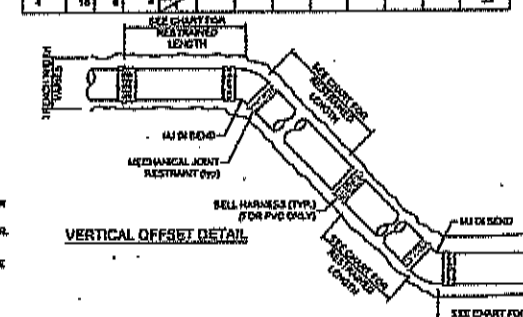
PROJECT NO. 50102318

D3

SHEET NO.



PIPE SIZE	HORIZ. BENDS	TEES	REDUCERS	PLUGS
48	128	53	26	1
42	117	48	24	1
36	108	44	21	1
30	93	38	18	1
24	78	33	16	1
20	64	28	14	1
18	57	24	12	1
12	45	19	8	1
10	38	16	6	1
8	33	14	5	1
6	25	11	4	1
4	18	8	3	1



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HBO STORAGE
GARY EILERS
PARKER
BAY COUNTY, FLORIDA

SEAL

JEFFREY BRITAIN, P.E. 90269
18-000734

PRELIMINARY DOCUMENTS
NOT FOR CONSTRUCTION

SCALE

NO SCALE

REVISIONS

NO.	DESCRIPTION	DATE

DRAWN BY SR
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DATE APRIL 2018

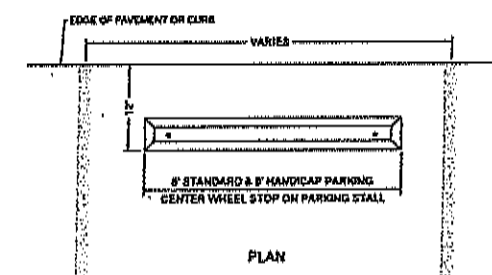
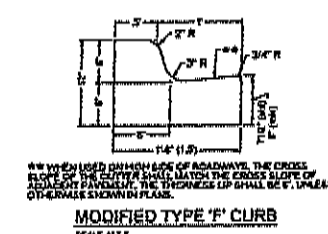
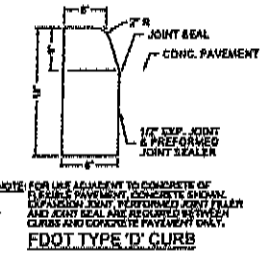
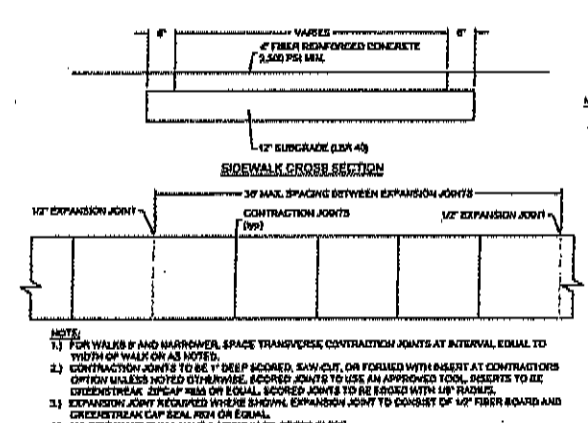
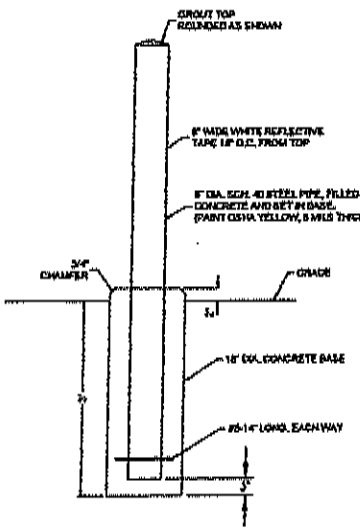
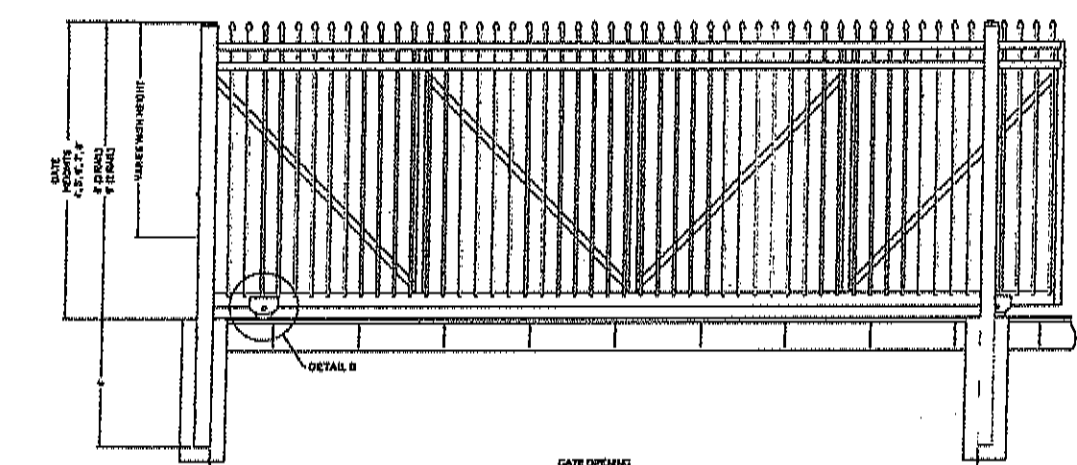
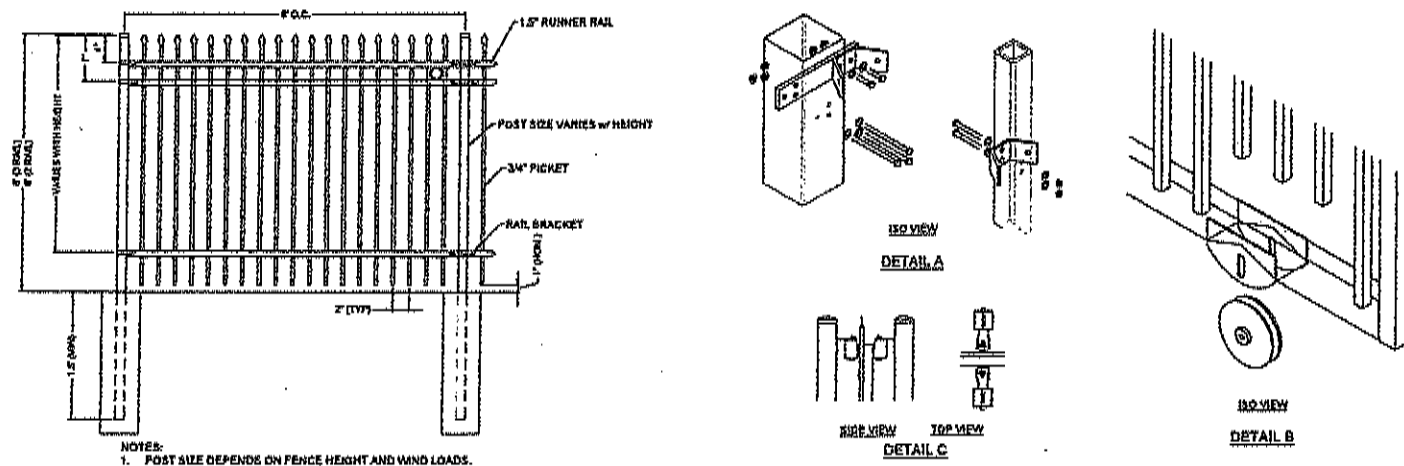
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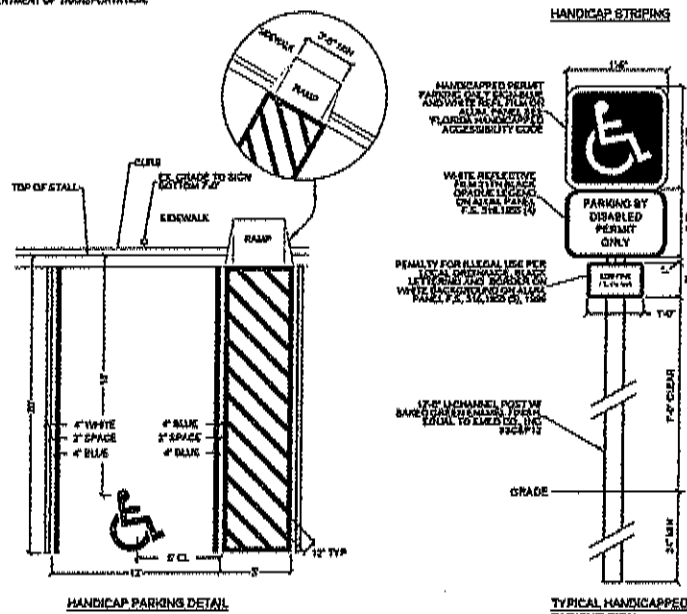
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D4

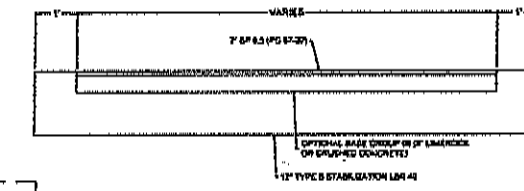
SHEET NO.



* COLOR CONTRAST
CHARACTERS AND SYMBOLS SHALL CONTRAST WITH THEIR BACKGROUND - EITHER LIGHT CHARACTERS ON A
DARK BACKGROUND OR DARK CHARACTERS ON A LIGHT BACKGROUND.
EACH PARKING SPACE SHALL BE CONSPICUOUSLY OUTLINED IN BLUE PAINT, AND SHALL BE POSTED AND
MAINTAINED WITH A PERMANENT, ABOVE GROUND SIGN BEARING THE INTERNATIONAL SYMBOL OF
ACCESSIBILITY OR THE CAPTION "HANDICAPPED PERMIT ONLY" OR BEARING BOTH SUCH SYMBOL AND
CAPTION. SUCH SIGNS SHALL NOT BE OBSCURED BY A VEHICLE PARKED IN THE SPACE. ALL HANDICAPPED
PARKING SPACES MUST BE SIGNED AND MARKED IN ACCORDANCE WITH THE STANDARDS ADOPTED BY THE
DEPARTMENT OF TRANSPORTATION.



DETAIL HANDICAP PARKING
SCALE N.T.S.

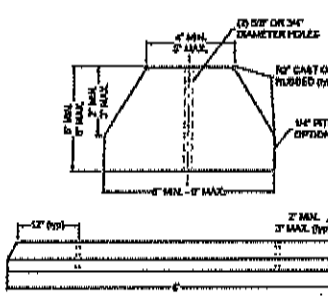


DETAIL PAVED ASPHALT PARKING & DRIVE
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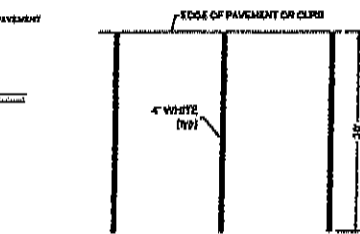


NOTE:
1. POSTS SHALL BE INSTALLED PLUMB.
2. ALL EXISTING POSTS SHALL BE 4.0
3. 18\"/>

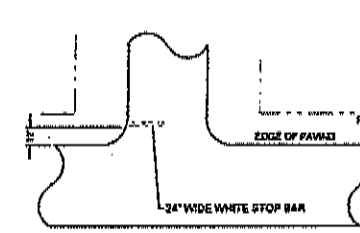
DETAIL SIGN (TYPICAL)
SCALE N.T.S.



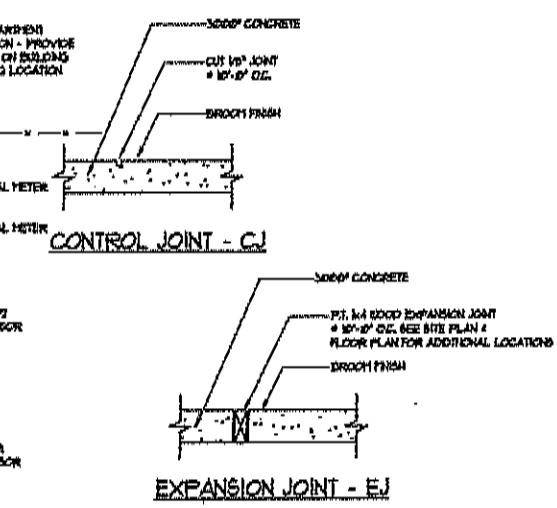
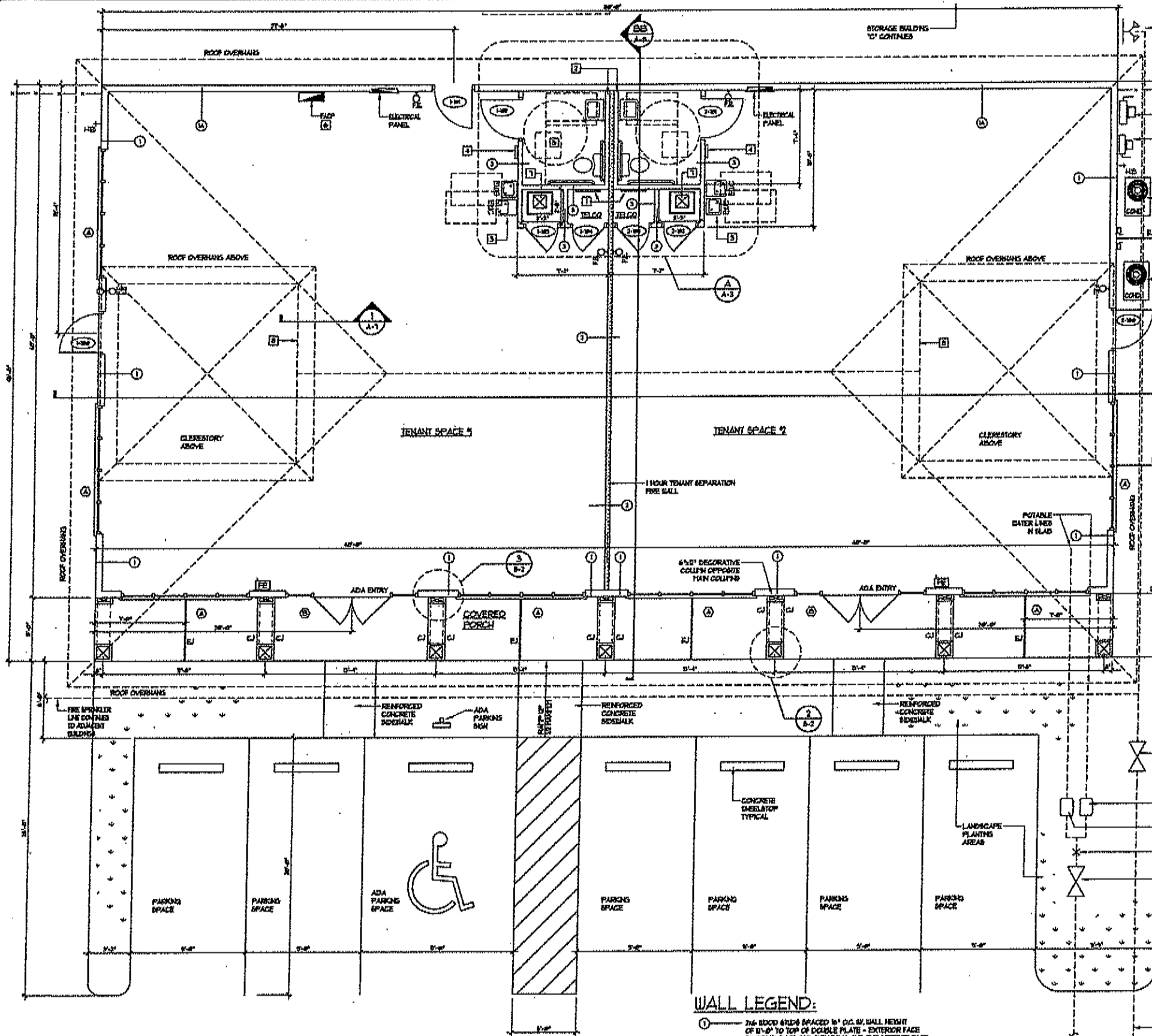
CONCRETE WHEEL STOP
SCALE N.T.S.



DETAIL PARKING SPACE STRIPING
SCALE N.T.S.



DETAIL STOP BAR
SCALE N.T.S.



1 SIDEWALK DETAIL
SCALE: 3/4" = 1'-0"

CONSTRUCTION KEY NOTES:

- 1 7' x 4' x 3/4" (1/2" x 1/2" x 1/2") AC GRADE PLYWOOD FOR TELCO BACKBOARD PAINT RESISTANT GRAY
- 2 ADDITIONAL 3/4" CHASE WALL BUILT AGAINST THE TENANT SEPARATION FIRE WALL TO ACCOMMODATE THE PLUMBING LINES - DO NOT PENETRATE THE FIRE WALL WITH PLUMBING LINES
- 3 ADA WALL WATER COOLER UNITS SET TO HEIGHT PER ADA GUIDELINES
- 4 ADA GRAPHIC SIGN ON WALL
- 5 3/4" x 3/4" ATTIC ACCESS PANEL IN 3000 TRIM AROUND FRAME
- 6 FIRE ALARM CONTROL PANEL (TACP) CENTRAL MONITORING UNIT FOR COMPLEX
- 7 HVAC AIR HANDLER UNIT LOCATION
- 8 OVERHEAD DROP BALDHEAD AROUND PERIMETER OF CLERESTORY OPENINGS

EQUIPMENT LEGEND:

- FE WALL BRACKET MOUNTED FIRE EXTINGUISHER 2A-10BC MULTI-PURPOSE TYPE
- FE1 SEMI-RECESSED FIRE EXTINGUISHER CABINET 2A-10BC FIRE EXTINGUISHER INSIDE - MULTI-PURPOSE TYPE
- 100 DOOR NUMBER - SEE DOOR SCHEDULE FOR DETAILS
- A WINDOW IDENTIFIER - SEE EXTERIOR ELEVATION FOR DETAILS

WALL LEGEND:

- 1 7/8" 3000 STUDS SPACED 16" O.C. W. WALL HEIGHT OF 8'-0" TO TOP OF DOUBLE PLATE - EXTERIOR FACE TO RECEIVE V1" GYPSUM BOARD AND THE INTERIOR FACE TO RECEIVE V1" GYPSUM WALL BOARD TYPICAL - SEE EXTERIOR ELEVATIONS FOR ADDITIONAL FINISH MATERIALS
- 2 SAME AS WALL TYPE "1" EXCEPT 5/8" FIRE CODE GYPSUM WALL BOARD ON INTERIOR WALL SURFACE
- 3 2x4 3000 STUDS SPACED 16" O.C. W. WALL HEIGHT OF 8'-0" TO TOP OF DOUBLE PLATE - FINISH BOTH FACES W. 5/8" FIRE CODE CORE GYPSUM WALL BOARD TO FORM A 1 HOUR FIRE WALL U. DEPENDS
- 4 2x4 3000 STUDS SPACED 16" O.C. W. WALL HEIGHT OF 8'-0" TO TOP OF DOUBLE PLATE - FINISH BOTH FACES W. V1" GYPSUM WALL BOARD TYPICAL

ARCHITECTURAL FLOOR PLAN
SCALE: 1/4" = 1'-0"

Rev.	Date	Description

CONSTRUCTION DOCUMENTS:
Project Location:
New Storage Facility and Office Space For:
HBO STORAGE, INC.
330 South Lyndall Parkway
Panama City, Florida, 32404

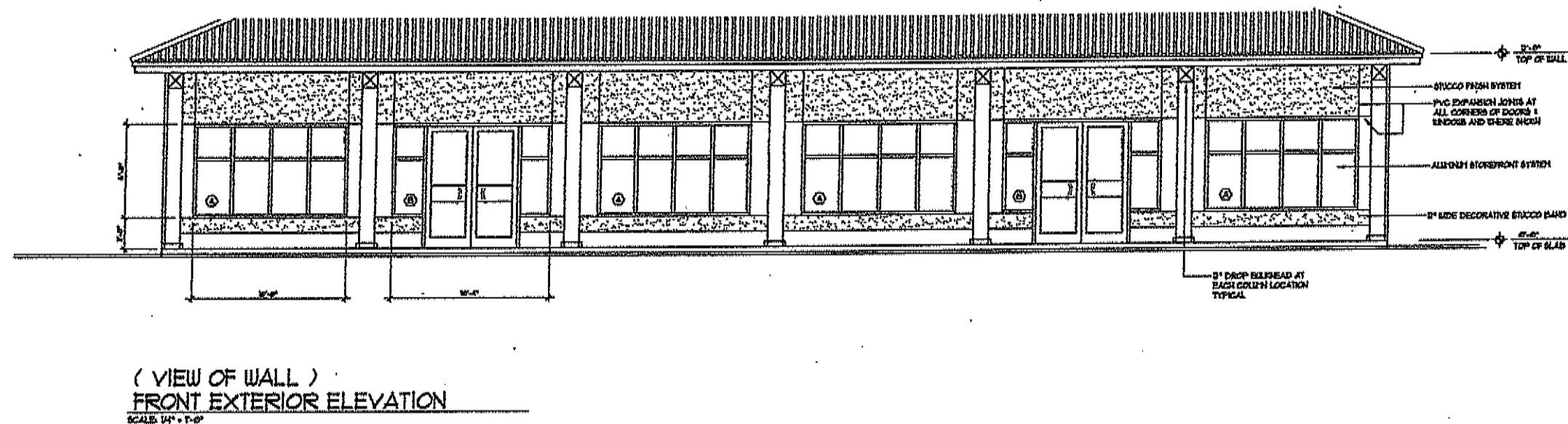
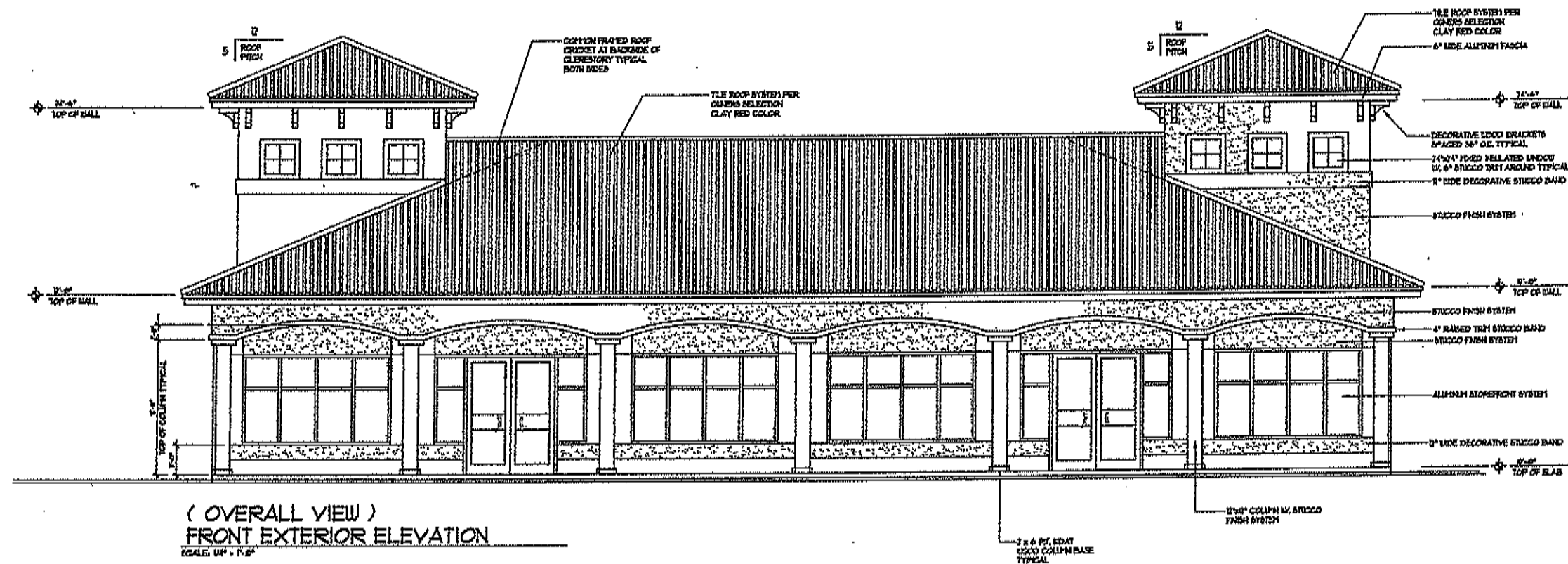
J.S.W.
Jeffrey S. Waddell
Architect
912 Commerce Drive
Suite "C"
Panama City Beach, Florida
Phone: (904) 634-4000
Architectural Design
Services
Florida Registered Architect
Registration Number: 1486802

PLAN STATUS:

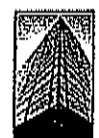
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FINAL CONSTRUCTION DOCUMENTS ☒
Drawn: J.S.W. Date: 05/24/2011
Scale: A-1



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CONSTRUCTION DOCUMENTS:
Project Locations
New Storage Facility and Office Space For:
HBO STORAGE, INC.
350 South Yngliff Parkway
Panama City, Florida, 32404



J.S.W.

**Jeffrey S. Waddell
Architect**
512 Commerce Drive
Suite "C"
Pensacola Beach, Florida
Phone: (904) 434-4008

**Architectural Design
Services**
Florida Registered Architect
Kathy Vesper-Nelson, AIA-CES-070

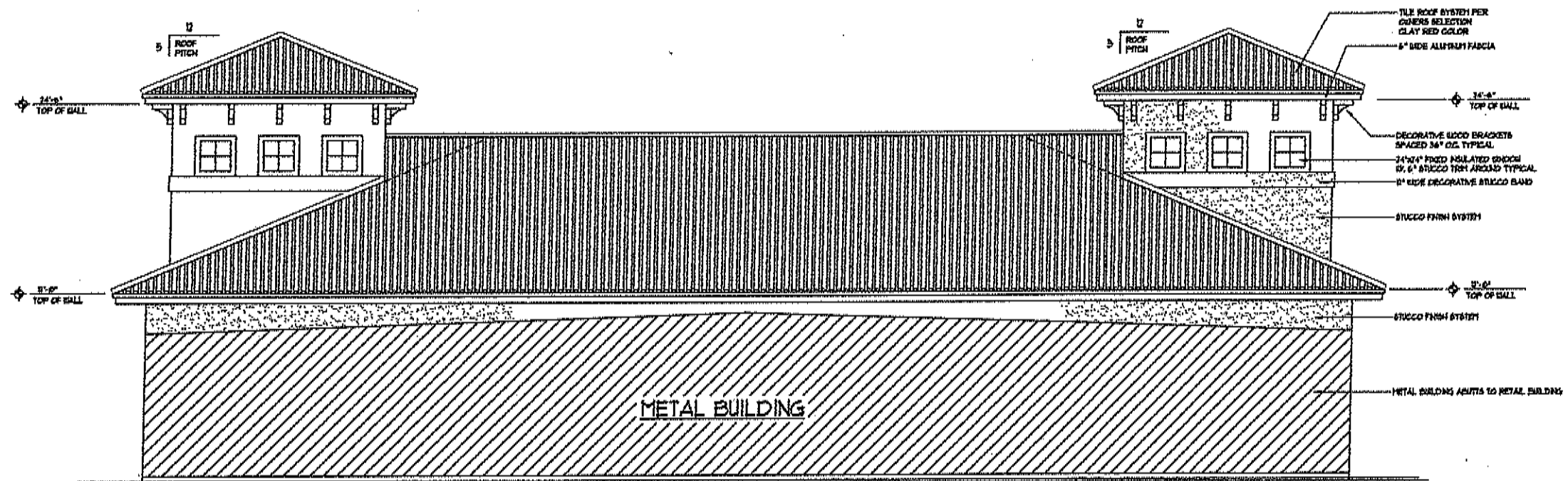
PLAN STATUS:

NO. CONTRACTOR'S NAME AND ADDRESS, ADDRESS
CONTRACTOR'S ADDRESS, CITY, STATE AND ZIP CODE
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SHOULD NOT BE USED FOR CONTRACTS OR OTHER PURPOSES

PRELIMINARY **NOT FOR CONSTRUCTION** ☐
 1 2 3 4 5 6 7 8 9 10 11 12 13 14 15 16 17 18 19 20 21 22 23 24 25 26 27 28 29 30 31 32 33 34 35 36 37 38 39 40 41 42 43 44 45 46 47 48 49 50 51 52 53 54 55 56 57 58 59 60 61 62 63 64 65 66 67 68 69 70 71 72 73 74 75 76 77 78 79 80 81 82 83 84 85 86 87 88 89 90 91 92 93 94 95 96 97 98 99 100 101 102 103 104 105 106 107 108 109 110 111 112 113 114 115 116 117 118 119 120 121 122 123 124 125 126 127 128 129 130 131 132 133 134 135 136 137 138 139 140 141 142 143 144 145 146 147 148 149 150 151 152 153 154 155 156 157 158 159 160 161 162 163 164 165 166 167 168 169 170 171 172 173 174 175 176 177 178 179 180 181 182 183 184 185 186 187 188 189 190 191 192 193 194 195 196 197 198 199 200 201 202 203 204 205 206 207 208 209 210 211 212 213 214 215 216 217 218 219 220 221 222 223 224 225 226 227 228 229 230 231 232 233 234 235 236 237 238 239 240 241 242 243 244 245 246 247 248 249 250 251 252 253 254 255 256 257 258 259 260 261 262 263 264 265 266 267 268 269 270 271 272 273 274 275 276 277 278 279 280 281 282 283 284 285 286 287 288 289 290 291 292 293 294 295 296 297 298 299 300 301 302 303 304 305 306 307 308 309 310 311 312 313 314 315 316 317 318 319 320 321 322 323 324 325 326 327 328 329 330 331 332 333 334 335 336 337 338 339 340 341 342 343 344 345 346 347 348 349 350 351 352 353 354 355 356 357 358 359 360 361 362 363 364 365 366 367 368 369 370 371 372 373 374 375 376 377 378 379 380 381 382 383 384 385 386 387 388 389 390 391 392 393 394 395 396 397 398 399 400 401 402 403 404 405 406 407 408 409 410 411 412 413 414 415 416 417 418 419 420 421 422 423 424 425 426 427 428 429 430 431 432 433 434 435 436 437 438 439 440 441 442 443 444 445 446 447 448 449 450 451 452 453 454 455 456 457 458 459 460 461 462 463 464 465 466 467 468 469 470 471 472 473 474 475 476 477 478 479 480 481 482 483 484 485 486 487 488 489 490 491 492 493 494 495 496 497 498 499 500 501 502 503 504 505 506 507 508 509 510 511 512 513 514 515 516 517 518 519 520 521 522 523 524 525 526 527 528 529 530 531 532 533 534 535 536 537 538 539 540 541 542 543 544 545 546 547 548 549 550 551 552 553 554 555 556 557 558 559 560 561 562 563 564 565 566 567 568 569 570 571 572 573 574 575 576 577 578 579 580 581 582 583 584 585 586 587 588 589 590 591 592 593 594 595 596 597 598 599 600 601 602 603 604 605 606 607 608 609 610 611 612 613 614 615 616 617 618 619 620 621 622 623 624 625 626 627 628 629 630 631 632 633 634 635 636 637 638 639 640 641 642 643 644 645 646 647 648 649 650 651 652 653 654 655 656 657 658 659 660 661 662 663 664 665 666 667 668 669 670 671 672 673 674 675 676 677 678 679 680 681 682 683 684 685 686 687 688 689 690 691 692 693 694 695 696 697 698 699 700 701 702 703 704 705 706 707 708 709 710 711 712 713 714 715 716 717 718 719 720 721 722 723 724 725 726 727 728 729 730 731 732 733 734 735 736 737 738 739 740 741 742 743 744 745 746 747 748 749 750 751 752 753 754 755 756 757 758 759 760 761 762 763 764 765 766 767 768 769 770 771 772 773 774 775 776 777 778 779 780 781 782 783 784 785 786 787 788 789 790 791 792 793 794 795 796 797 798 799 800 801 802 803 804 805 806 807 808 809 810 811 812 813 814 815 816 817 818 819 820 821 822 823 824 825 826 827 828 829 830 831 832 833 834 835 836 837 838 839 840 841 842 843 844 845 846 847 848 849 850 851 852 853 854 855 856 857 858 859 860 861 862 863 864 865 866 867 868 869 870 871 872 873 874 875 876 877 878 879 880 881 882 883 884 885 886 887 888 889 890 891 892 893 894 895 896 897 898 899 900 901 902 903 904 905 906 907 908 909 910 911 912 913 914 915 916 917 918 919 920 921 922 923 924 925 926 927 928 929 930 931 932 933 934 935 936 937 938 939 940 941 942 943 944 945 946 947 948 949 950 951 952 953 954 955 956 957 958 959 960 961 962 963 964 965 966 967 968 969 970 971 972 973 974 975 976 977 978 979 980 981 982 983 984 985 986 987 988 989 990 991 992 993 994 995 996 997 998 999 1000 1001 1002 1003 1004 1005 1006 1007 1008 1009 1010 1011 1012 1013 1014 1015 1016 1017 1018 1019 1020 1021 1022 1023 1024 1025 1026 1027 1028 1029 1030 1031 1032 1033 1034 1



Project Number 2814-20	Sheet A-4
Date 2/26/2015	
Drawn By JGU	



REAR EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

PLAN STATUS:
ARCHITECTOR HAS REVIEWED APPROVED
CONSTRUCTION DOCUMENTS AND PRELIMINARY PLANS ARE
ISSUED FOR PERMITTING PURPOSES ONLY AND
SHALL NOT BE USED FOR CONSTRUCTION OR RECORD PURPOSES
PRELIMINARY ☐ ☒
FINAL ☐ ☒
CONSTRUCTION DOCUMENTS ☒
Date: Architectural Firm



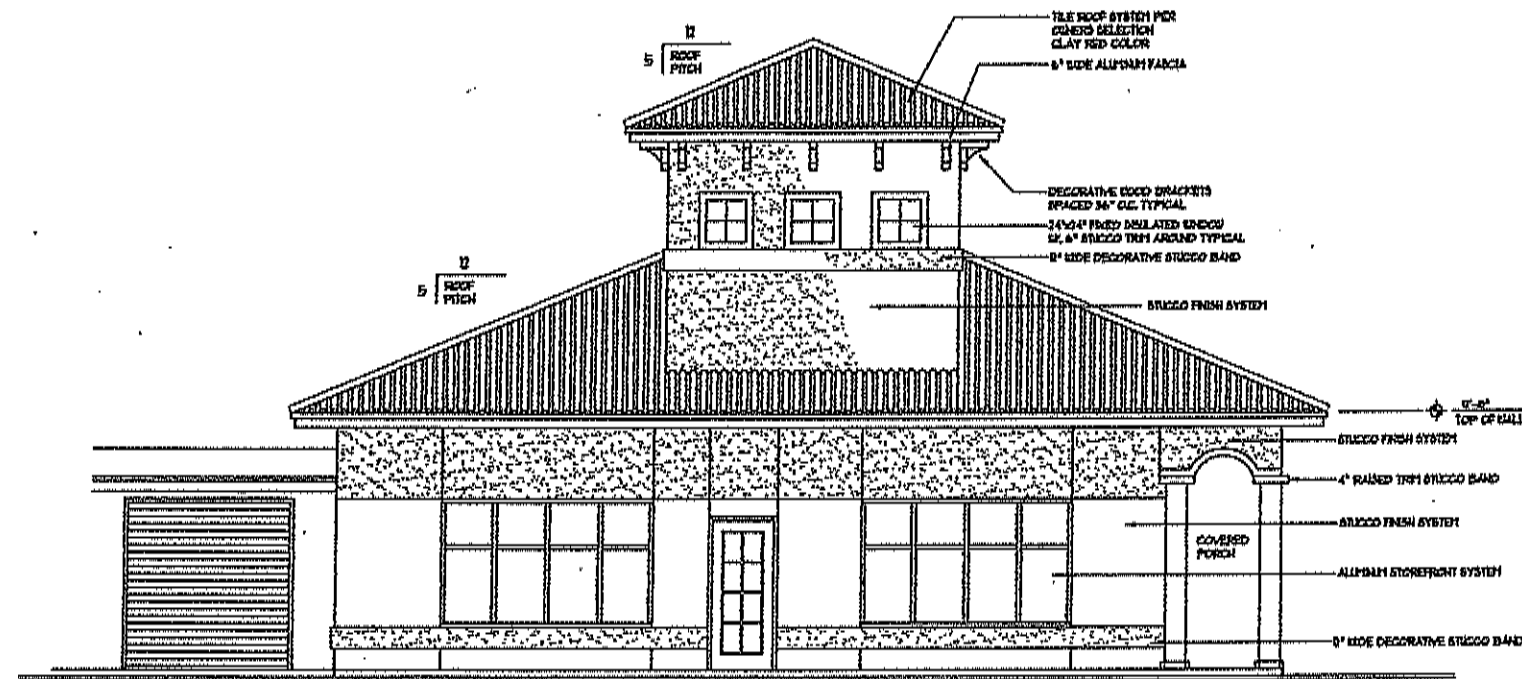
Rev.	Date	Description

CONSTRUCTION DOCUMENTS:
Project Location:
New Storage Facility and Office Space For:
HBO STORAGE, INC.
3300 South Tyndall Parkway
Panama City, Florida, 32404

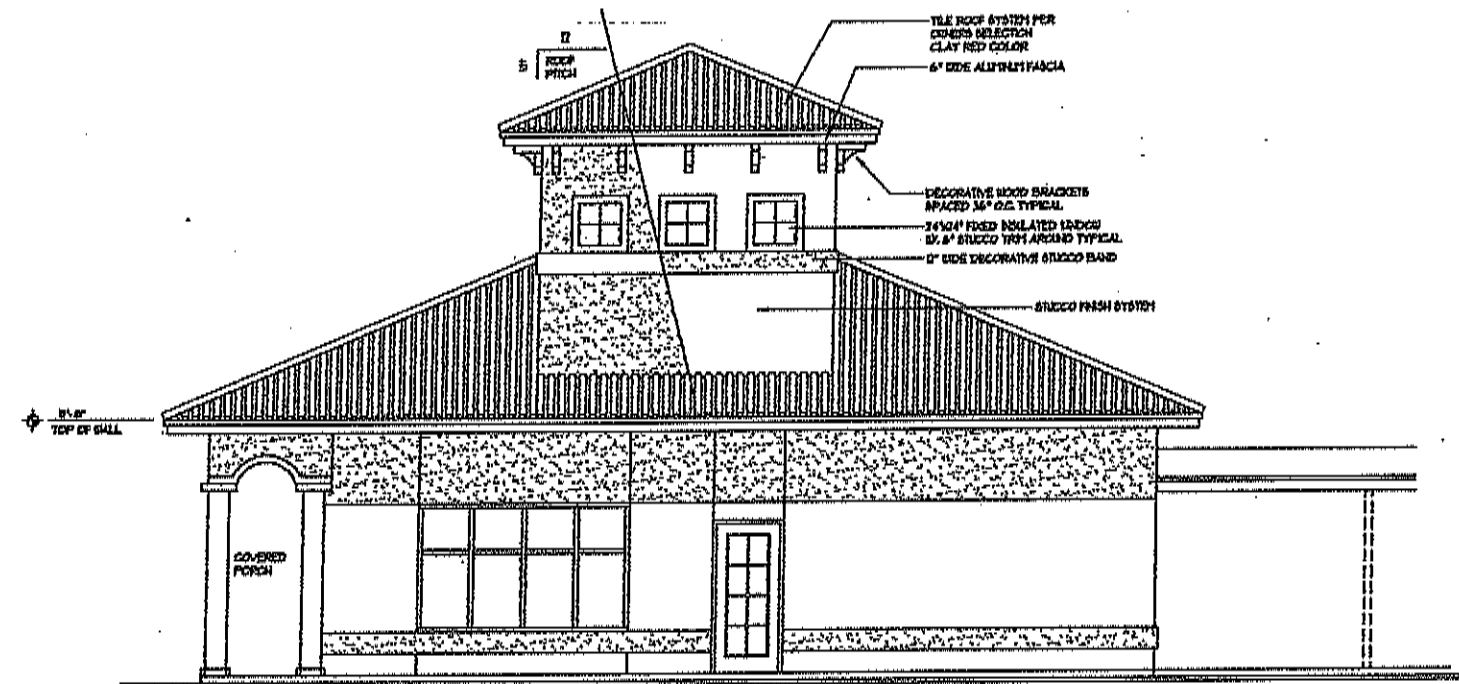
J.S.W.
Jeffrey S. Waddell
Architect
817 Constance Drive
Suite 101
Panama City Beach, Florida
Phone: (904) 454-4000
Architectural Design
Services
Florida Registered Architect
Registration Number: 18815-070

Project Number: 2014-05	Sheet: A-5
Date: 05/05/2016	
Drawn By: JSW	

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LEFT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"



RIGHT EXTERIOR ELEVATION
SCALE: 1/4" = 1'-0"

Rev.	Date	Description

CONSTRUCTION DOCUMENTS:
Project Location:
New Storage Facility and Office Space For:
HBO STORAGE, INC.
3510 South Tindall Parkway
Panama City, Florida, 32404



J.S.W.

Jeffrey S. Waddell
Architect
812 Commerce Drive
Suite 101
Panama City Beach, Florida
Phone: (904) 614-4226

Architectural Design
Services
Florida Registered Architect
Registration Number: 22000070

PLAN STATUS:

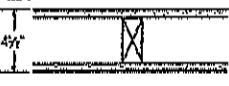

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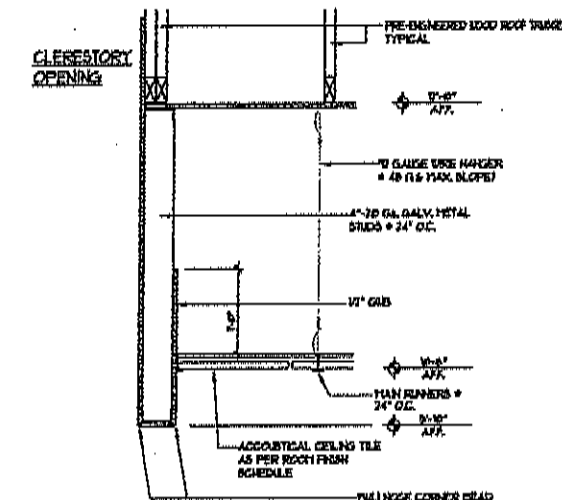
FIELD ENTRY ☐ **FOR CONSTRUCTION** ☒
FINAL CONSTRUCTION DOCUMENTS ☒
Date: 10/10/2014



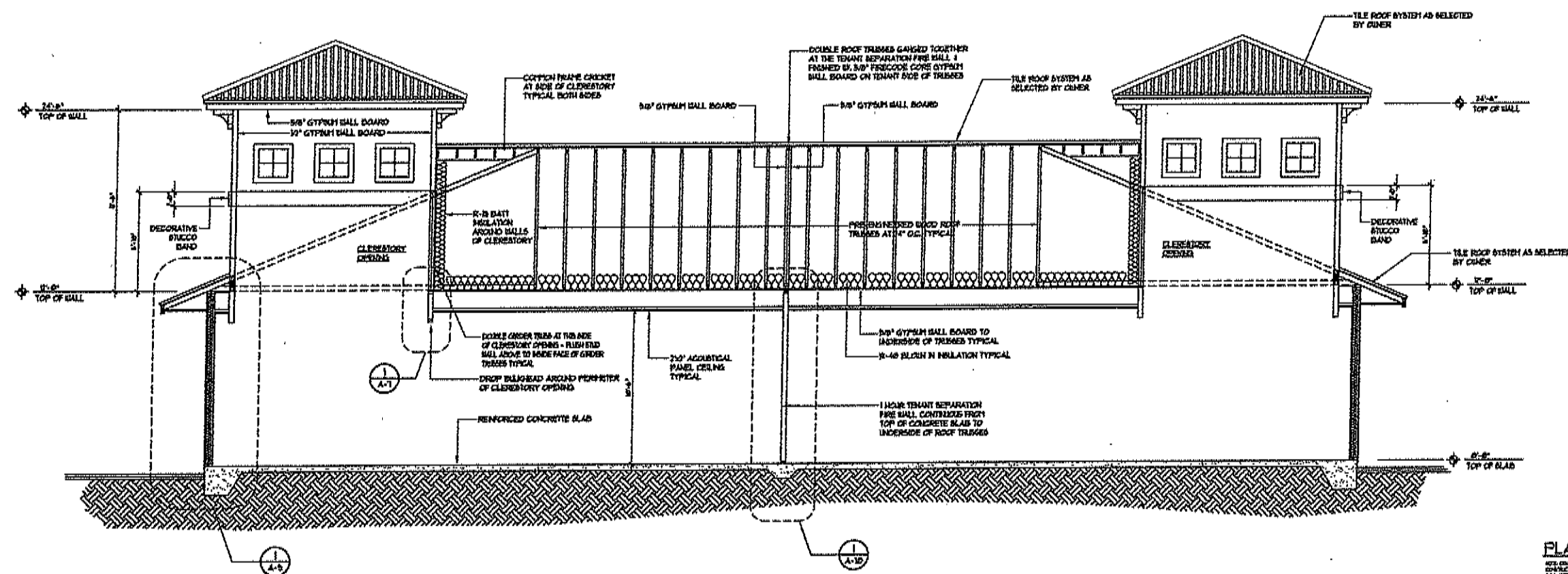
Print Date: 2014-05	Sheet: A-6
Date: 10/10/2014	
Drawn by: JSD	

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Wood Framed					
1 Hour Fire-rated Construction					
 4x4 1/2"	• 1/2" Mineral Brand Fiberglas C Core Gypsum Base, veneer finish only (not drywall) • 2x4 stud 16" o.c. • joints finished • 1/16" veneer finish	U of C 10-27-64		SA920	A-57
 4x4 5/8"	• 5/8" Skimrock Brand Fiberglas Core Gypsum Panels or Fiberglas Brand Panels • 2x4 wood stud 16" or 24" o.c. • joints finished • optional veneer plaster	UL Des U305, U314	34 37 46	USG-30-FI-G&H Based on 16" stud spacing and screws 6" o.c. USG-860807 Based on 24" stud spacing BBN-700725 Based on 24" stud spacing and 3" mineral wool batt	SA920 A-58



1 BULKHEAD DETAIL (TYPICAL)
SCALE 1" = 1'-0"



AA LONGITUDINAL BUILDING SECTION
SCALE 1/4" = 1'-0"

Description	
Rev.	Date

CONSTRUCTION DOCUMENTS:
Project Location:
New Storage Facility and Office Space For:
HBO STORAGE, INC.
350 South Tyndall Parkway
Panama City, Florida, 32404



J.S.W.

Jeffrey S. Waddell
Architect
512 Commerce Drive
Suite 100
Panama City Beach, Florida
Florida (850) 656-4000

Architectural Design
Services

Florida Registered Architect
Registration Number: 100000000

PLAN STATUS:

NOTE: CONSTRUCTION SHALL BE PERMITTED AFTER APPROVED
CONSTRUCTION DOCUMENTS HAVE BEEN PROVIDED AND APPROVED BY THE
APPROVED AND APPROVED BY THE APPROVED AND APPROVED BY THE
APPROVED AND APPROVED BY THE APPROVED AND APPROVED BY THE

PRELIMINARY ☐ NOT FOR CONSTRUCTION

FINAL ☒ CONSTRUCTION DOCUMENTS

Checklist: 10/1/00



Project Number	200-01
Date	09/10/00
Drawn By	JSW
Checked By	A-7

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CITY OF PARKER AGENDA ITEM SUMMARY

1. DEPARTMENT MAKING REQUEST/NAME OF PRESENTER:

Mayor Rich Musgrave

2. MEETING DATE:

June 19, 2018

3. REQUESTED MOTION/ACTION: Authorize execution of Economic Development contract with Bay County Chamber of Commerce and NextSite

4. IS THIS ITEM BUDGETED (IF APPLICABLE)

YES

☐

NO

☐

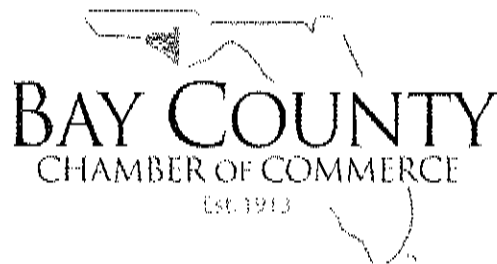
N/A

☐

5. BACKGROUND: (PROVIDE HISTORY; WHY THE ACTION IS NEEDED; WHAT GOAL WILL BE ACHIEVED FOR THE CITY)

Gulf Power subsidized a development organization to make it available to local municipalities that wished to redevelop their primary business corridors. The Chamber of Commerce has agreed to provide additional cost sharing through the initial contract term. The arrangement is a three-year contract with the ability to continue the contract if desired. We are splitting costs for the Tyndall Parkway portion that touches both Callaway and Parker.

This will allow the City of Parker to engage a professional organization to assist us in identifying parcels and bringing developers to match to the properties to upgrade the appearance of Tyndall Parkway and Business 98.



**AGREEMENT TO PROVIDE
RESEARCH, MARKETING & CONSULTING SERVICES**

THIS AGREEMENT (this “Agreement”) is entered by and between NextSite, LLC, an Alabama limited liability company (hereinafter referred to as “NextSite” or “Consultant”), the Bay County Chamber of Commerce (hereinafter referred to as “Chamber”) and the City of Parker (hereinafter referred to as “Client”) on this the **1st** day of **June 2018**, as follows:

WHEREAS, Client desires to have performed those services identified on Exhibit A attached hereto (the “Project”) for the City of Parker which it believes will promote the efficient development of Client; and,

WHEREAS, Consultant has made a proposal to Chamber and Client to provide research, marketing and consulting services related to the Project as further set forth below.

WHEREAS, Chamber desires to use the research information developed by Consultant to assist in promoting businesses inside the premises of the Client.

WHEREAS, Client agrees that all analytical data developed by Consultant shall inure to the sole benefit of the Chamber.

WITNESSETH:

NOW, THEREFORE, this Agreement is made and entered into on the date first above written by and between Client, Chamber and Consultant, by which Consultant will provide research, marketing and professional consulting to Chamber and Client as hereinafter specified, through individuals possessing a high degree of professional skill where the personality of the individual will play a decisive role as follows:

1. SCOPE OF SERVICES

A. As to Client - Consultant agrees, for the consideration stated herein, to provide research, marketing and professional consulting and related services to Client for the Project as set out in Exhibit A. The engagement will focus on development, redevelopment and infill opportunities in the City of Parker.

B. As to Chamber - All parties agree and acknowledge that any analytical data developed by Consultant's research shall be for the sole benefit of the Chamber and shall be treated as a Trade Secret as defined in Fla Stat. § 812.081 and shall be exempt from Public Records requirements of Fla. Stat. § 119.0701.

2. TIME OF PERFORMANCE

Consultant shall provide services pursuant to this Agreement and expeditiously and in good faith conduct its work in such a manner as to complete its commitments for Chamber and Client within three (3) years between June 1, 2018 and May 31, 2021 with annual renewal options beginning June 1, 2021.

Consultant shall commence, carry on and complete the Project with all practicable dispatch, in a sound, economical and efficient manner, in accordance with the provisions hereof and applicable laws. In accomplishing the Project, Consultant shall take such steps as are appropriate to ensure that the work involved is properly coordinated with related work and policies being carried on by Client.

3. COMPENSATION

Chamber and Client agree to pay Consultant for the services as set forth herein, the sum of **\$6,500** for the first year, to be split **\$3,250** and **\$3,250** by Client and Chamber. Payment for the first year is to be made upon execution of this Agreement and Client's receipt of the applicable invoice from Consultant. The compensation for year two shall be **\$6,500**, to be split **\$4,550** and **\$1,950** by Client and Chamber payable by June 1, 2019. The compensation for year three shall be **\$6,500** to be split \$5,850 and \$650 by Client and Chamber payable by June 1, 2020 respectively. Client shall have the right to renew the contract for additional years, starting in year four, at the rate of **\$6,500** per year thereafter. Chamber and Client acknowledge that affiliates and strategic partners of Consultant act in the capacity of a real estate advisory service business and may earn fees for services including development, leasing and real estate advisory fees in the performance of such affiliates services as part of the scope of the Project. The fees earned by such affiliates and strategic partners are not the responsibility of the Chamber, Client or the City of Parker.

4. CLIENT RESPONSIBILITIES

In addition to paying Consultant for services according to the preceding paragraph, Chamber and Client shall also provide for Consultant: access to relevant personnel, facilities,

and materials including, but not necessarily limited to, those items specified in Consultant's proposal to Client, and such records, reports, and information as reasonably requested by Consultant and in Client's possession.

5. LEVEL OF COMPETENCE

Consultant represents and warrants to Client that it and all of its employees that will be working on the project for Client are qualified and competent to perform the services required. Such personnel shall not be employees of or have any pre-existing contractual relationship with Client. All services required hereunder will be performed by Consultant or under its supervision.

The Project Directors for the performance of services by Consultant pursuant to the terms and conditions of this Agreement shall be Managing Partner Chuck Branch and Shelley Shores, VP of Client Communications. Consultant may also use additional employees to assist with the performance of this Agreement as Consultant deems appropriate in Consultant's discretion.

6. MATERIALS/CONFIDENTIALITY

Client agrees to cooperate with and provide Consultant with access to facilities and information within its reasonable possession and control, requested by Consultant for its review and use in performing the services herein. Provided, however, all such documents, information, results, memoranda and all other written information ("information") shall be held confidential by Consultant and any of its subcontractors and shall not, without the prior written consent of Client, be used for any purpose other than the performance of this Agreement nor be disclosed to any other entity not connected with performance of this Agreement. Upon completion of services, Consultant shall return all such information to Client. Client shall retain ownership of all such information provided by Client.

Notwithstanding Fla. Stat. §119.0701, Parties agree and affirm any analytical data information provided to Chamber by Consultant per Paragraph 1B are Trade Secrets as defined by and protected under Fla. Stat. § 812.081.

7. INTELLECTUAL PROPERTY

Client and Consultant, jointly and separately, acknowledge and agree that the intellectual property of both parties shall remain owned by the respective party. Except for Consultant's periodic and final reports, as well as all marketing materials, generated for performance of this Agreement to or for Client, memorandums, electronic mail, facsimile transmissions and other

written and prepared documents shall be owned by the party who authored, generated or who originally possessed the same and nothing in this Agreement shall contravene said rights.

8. INFORMATION AND REPORTS

Consultant shall furnish periodic reports concerning the status of the project to Chamber's and Client's representative pursuant to a schedule agreed upon by Consultant and Client. Consultant shall furnish Client, upon request, electronic copies of all documents and other material prepared or developed as part of the project. Such requests shall be reasonable and within normal business practices for such work.

9. COPYRIGHT INFORMATION

Client acknowledges that all intellectual property developed during the course of this Agreement by Consultant shall belong exclusively to Consultant. However, Client may utilize any of the foregoing for and on behalf of its internal operations but will take steps reasonably necessary with its employees with respect to the use, copying, protection and security of the foregoing. Notwithstanding the foregoing, Client may use all marketing materials developed pursuant to this Agreement for both its internal operations and external needs.

10. APPLICABLE LAWS

Consultant shall register and comply with all State or Federal laws and/or regulations as they may relate to the services or activities of the Consultant to Client.

11. INSURANCE

Consultant shall carry all appropriate and necessary insurance to be in compliance with state and national laws regarding the insurance coverage of its employees.

12. TERMINATION

Should Consultant violate any of the terms of this Agreement or otherwise fail to fulfill its obligations set forth under Exhibit A of this Agreement, Client shall provide Consultant written notice of any alleged deficiencies in performance as soon as practical. Consultant shall have thirty (30) days from the date notice is received to cure any alleged deficiencies in performance. In no way shall more than two (2) opportunities to cure be afforded to Consultant within a twelve-month period. Should Consultant fail to remedy the alleged defect in performance after being given the opportunity to do so, Client shall have the right to terminate

this Agreement. All fees paid for any term shall be deemed fully earned when paid and are not subject to refund following any termination hereunder.

13. CONFLICT OF INTEREST

Consultant represents and warrants to Client, to the best of its knowledge, that neither it nor its Project Directors are aware of any conflict of interest which exists by means of its provision of services to Client pursuant to the terms and conditions of this Agreement.

14. NOTICES/PARTIES REPRESENTATIVES

The primary representative of Client for this Agreement shall be Mayor Rich Musgrave of the City of Parker.

All notices, bills, and invoices required by this Agreement shall be sufficient if sent by the parties hereto in the United States Mail, postage prepaid thereon to the addresses noted below:

Client:	City of Parker 1001 W. Park St. Panama City, Fl. 32404 Attn: Mayor Rich Musgrave
Chamber:	Bay County Chamber of Commerce 235 W. 5 th St. Panama City, FL 32401 Attn: Carol Roberts
Consultant:	NextSite LLC 880 Montclair Road Suite 525 Birmingham, AL 35213 Attention: Chuck Branch

15. REPRESENTATIVE CAPACITY

While Consultant's role will be that of a consultant to Chamber and Client, Consultant shall be and remain an independent contractor and not act in the role of an agent or legal representative on behalf of Chamber or Client. Consultant shall not have the authority to bind or obligate Client, its officers, agents or employees.

16. **MISCELLANEOUS**

Capacity: Each party to this Agreement represents and warrants to the other as follows:

- A. That it is an individual of the age of majority or otherwise a legal entity duly organized and in good standing pursuant to all applicable laws, rules and regulations.
- B. That each has full power and capacity to enter into this Agreement, to perform and to conclude the same including the capacity, to the extent applicable, to grant, convey and/or transfer; areas, assets, facilities, properties, (both real and personal), permits, consents and authorizations and/or the full power and right to acquire and accept the same.
- C. That to the extent required, each party has obtained the necessary approval of its governing body, board, council or other appropriate governing body and a resolution or other binding act has been duly and properly enacted by such governing body or board authorizing this Agreement and said approval has been reduced to writing and certified or attested by the appropriate official of the party.
- D. That each party has duly authorized and empowered a representative to execute this Agreement on their respective behalf and the execution of this Agreement by such representative fully and completely binds the party to the terms and conditions hereof.
- E. That absent fraud, the execution of this Agreement by a representative of the party shall constitute a certification that all such authorizations for execution exist and have been performed and the other party shall be entitled to rely upon the same. To the extent a party is a partnership, limited liability company or joint venture, the execution of this Agreement by any member thereof shall bind that party and to the extent that the execution of this Agreement is limited to a manager, managing partner or specific member then the person so executing this Agreement is duly authorized to act in such capacity for the party.

- F. That each party represents and warrants to the other that, to the best of its knowledge, there is no litigation, claim or administrative action threatened or pending or other proceedings to its knowledge against it which would have an adverse impact upon this transaction or upon either's ability to conclude the transaction or perform pursuant to the terms and conditions of this Agreement.
- G. That each party has obtained all required permits, approvals and/or authorizations from third parties to enable it to fully perform pursuant to this Agreement.

Third Party Beneficiaries: It is the intent of the parties hereto that there shall be no third-party beneficiaries to this Agreement.

Final Integration: This Agreement, together with any exhibits or amendments hereto, constitutes the entire agreement of the parties, as a complete and final integration thereof with respect to its subject matter. In the event of a direct conflict between the provisions hereof and any prior agreement or amendment, the latter shall supersede the former. All written or oral understandings and agreements heretofore had between and among the parties are merged into this Agreement, which alone fully and completely expresses their understandings. No representation, warranty, or covenant made by any party which is not contained in this Agreement or expressly referred to herein have been relied on by any party in entering into this Agreement.

Force Majeure: Neither party to this Agreement shall hold the other party responsible for damages or delay in performance caused by acts of God, strikes, lockouts or other circumstances beyond the reasonable control of the other or the other party's employees, agents or contractors.

Amendment in Writing: This Agreement may not be amended, modified, altered, changed, terminated, or waived in any respect whatsoever, except by a further agreement in writing, properly executed by all of the parties.

Binding Effect: This Agreement shall bind the parties and their respective personal representatives, successors, and assigns. If any provision in this Agreement shall be

invalid, illegal or unenforceable, the validity, legality and enforceability of the remaining provisions shall not in any way be affected or impaired thereby.

Captions: The captions of this Agreement are for convenience and reference only, are not a part of this Agreement, and in no way shall define, describe, extend, or limit the scope or intent of this Agreement.

Construction: This Agreement shall be construed in its entirety according to its plain meaning and shall not be construed against the party who provided or drafted it.

Mandatory and Permissive: “Shall”, “will”, and “agrees” are mandatory; “may” is permissive.

Governing Law: The laws of the State of Florida, but without regard to conflict of laws principles, shall govern the validity of this Agreement, the construction of its terms, the interpretation of the rights, the duties of the parties, the enforcement of its terms, and all other matters relating to this Agreement.

Prohibition on Assignment and Delegation: No party to this Agreement may assign or delegate its interests or obligations hereunder without the written consent of all other parties hereto obtained in advance of any such assignment or delegation. No such assignment or delegation shall in any manner whatsoever relieve any party from its obligations and duties hereunder and such assigning or delegating party shall in all respects remain liable hereunder irrespective of such assignment or delegation.

Waiver: Non-enforcement of any provision of this Agreement by either party shall not constitute a waiver of that provision, nor shall it affect the enforceability of that provision or of the remaining terms and conditions of this Agreement.

Agreement Date/Counterparts: The date of this Agreement is intended as and for a date for the convenient identification of this Agreement and is not intended to indicate that this Agreement was necessarily executed and delivered on said date. This instrument may be executed in any number of counterparts, each of which so executed shall be

deemed an original, but all such counterparts shall together constitute but one and the same instrument.

CLIENT:

City of Parker

Signature _____

Title _____

Date _____

CHAMBER:

Bay County Chamber of Commerce

Signature _____

Title _____

Date _____

CONSULTANT:

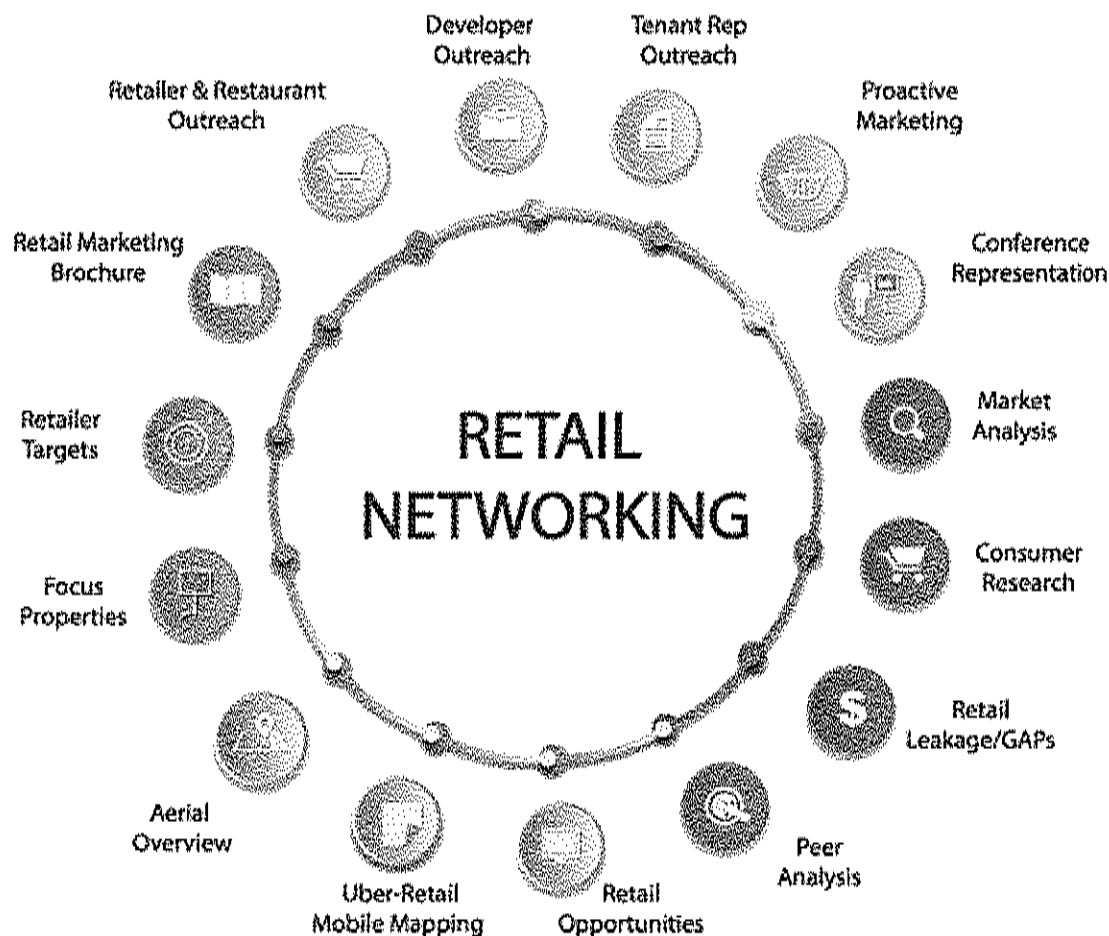
NextSite, LLC

Signature _____

Title _____

Date _____

EXHIBIT A



RESEARCH - ANALYSIS - MARKETING:

NextSite Demographic and Consumer Research

NextSite partners with and contracts with numerous software, research and data solution providers to best analyze each opportunity in our engaged communities. Each city, town, or retail trade area requires unique analysis based on numerous factors including natural boundary areas, current retail tenant mix, competition, travel times, radius areas and existing sites/buildings. Our research focuses on identifying the decision critical data that will most likely influence the site location decisions by retailers. Once these data points are determined – we provide thematic maps, aerial photos, asset maps, and customized research reports by retail sector.

NextSite Analysis

RETAIL GAP/LEAKAGE SUMMARY

One of the most critical components of any retail research/consulting engagement is accurate retail leakage analysis – measuring household spending by category that is leaving the designated trade area to purchase goods and services. Capturing this leakage through development and redevelopment broadens the tenant mix, creates jobs and leads to additional retail sales tax revenue.

COMMUNITY PEER ANALYSIS

Developers and retailers are always looking for opportunities in cities/trade areas that are similar to previous projects they have completed. We have developed a software solution that allows us to very quickly identify similar geographies (peers) based on a set of demographic, consumer spending and population segmentation variables – allowing us to match potential developments and new retail based on existing locations.

FOCUS PROPERTIES

The NextSite team will work with your organization, local property owners and active commercial brokers in your market to determine the appropriate Focus Properties to position as opportunities to developers, tenant reps and retailers. Once we've identified these opportunities, we will upload them to OppSites.com on your behalf.

RETAILER TARGET LIST

The NextSite team, leveraging our experience, resources and contacts throughout the U.S. will build a retailer target list identify those retailers most likely to consider your city/retail trade area for future expansion. We will also match the retailers in this list to developers that have done single and multi-tenant projects with these concepts.

AERIAL MAPS OF CURRENT RETAILERS

Our Regis software creates aerials by city, retail trade area or development/redevelopment zones including locations of all current regional and national retailers. These aerial maps become key components of the Retail Marketing Brochure.

NextSite Pro-active Marketing

RETAIL MARKETING BROCHURE

Highlights the Focus Properties in your city, key demographic statistics and includes an 11x17 aerial overview of the current retail landscape in the trade area.

PRO ACTIVE RECRUITMENT OF DEVELOPERS & TENANT REP FIRMS

NEXTSITE will leverage its developer and tenant rep relationships to proactively recruit new development and redevelopment to the City of Parker. As part of our efforts NextSite will represent and market the opportunities at ICSC Deal Making Conferences across the U.S.

BASECAMP

Upon completion of the research component of our engagement, the NextSite team creates an online account through BASECAMP, a document management and communication platform, available to the appropriate contacts in your city/organization to access the market analysis and marketing materials.

Scope of Services

Our process begins with establishing your Basecamp Account and issuing our Getting Started document to the identified primary contact(s) in your community. Simultaneously we begin the research and market analysis and plan our initial market visit. As we complete components of the process, we upload the research, analysis and strategy to your Basecamp Account. **This initial phase of the engagement is typically a 60-day process. However, we begin outreach to our developer and tenant rep relationships immediately, letting our contact(s) know we've been engaged by your community and our preliminary thoughts on the market opportunities.**

Market Research - NextSite's assessment will include, but will not be limited to, the following:

- Trade Area Analysis
- Demographics, psychographic, segmentation & consumer behavior/attitudes
- Trade Area Competitors
- Existing retail landscape
- Retail leakage/surplus – GAP Analysis
- Peer Analysis
- Retail development in peer communities
- Cannibalization
- Retail trends
- Market viability

- Identify Trade Corridors/Areas

NextSite will identify the appropriate radius, drive time and custom trade areas based on feedback from key community contacts, analysis of peer communities and through our onsite market visits.

- Analyze Market & Retail GAP/Leakage data

Once the Retail Trade Areas are identified, we begin the process of performing detailed demographic research, GAP/leakage analysis across all retail categories and household level consumer expenditure reviews, consumer profiles and buying habits and, our newest research tool –

mobile mapping data to understand consumer travel patterns and confirm trade areas. Our Custom Demographic Research includes Historical, Current, and Projected Demographics from multiple sources.

- **Conduct Retail Peer Identification and Analysis**

Retailers have a tendency to locate in similar communities and/or trade areas. By identifying communities similar to Parker from a demographic and business scope, we can analyze those retailers who have shown a propensity to locate in these peer areas.

- **Consumer Attitude and Behavior Analysis**

Our detailed consumer attitude and behavior data allows us to drill down to the consumer level and understand their preferences and likelihood to purchase products and services. Local retail businesses can use this data to better understand the product and service mix needed to grow their company and capture spending that may be leaving the immediate trade area.

- **Identify/Evaluate/Catalog Available Commercial Properties and Development Opportunities**

Understanding the real estate options within the market for development, redevelopment and higher and best use allows the NextSite team to position specific properties to retail prospects. Our team will drive the market and retail corridors to build a database of the available commercial properties. Once we identify the development and redevelopment Focus Properties we work with our clients to upload these sites to OppSites to market these opportunities to Developers and Tenant Reps.

- **Psychographic Profiles of Trade Area / Market Segmentation Analysis**

Retailers today know the psychographic profiles of their target consumer. Through our market analysis we identify the segmentation groups and match the consumer profile of Parker shoppers to prospective retailers. This data can also be critical to retailers regarding the types of product and service offered once the location decision has been reached.

- **Thematic Mapping and Aerial Imagery by trade area**

Data visualization allows retailers to identify and target areas for expansion/relocation and the consumers that match their customer profile.

- **Retail Competitor Mapping/Analysis**

Understanding the location of current retailers in your community and the various retail trade corridors provides valuable insight into co-location opportunities, competitors and available sites for development/re-development. We extend this analysis to understand the retailer mix in competitor communities.

- Identification of Retail Prospects to be targeted for recruitment

An initial list of targeted retailers for recruitment. This database includes the retailer, contact information, and current expansion plans. Updates are made to the list as market conditions and feedback from developers and tenant reps dictate.

- Retailer Recruitment and Execution of the Retail Strategy

The most important service we provide is pro-actively recruiting the developers and tenant reps to leverage the identified target retailers/restaurants. Our team is tasked with communicating and providing assistance to the local commercial real estate professionals in your community while also keeping the primary contacts updated on the progress of our recruitment efforts.

- Updates on Retail Industry Trends

While our day to day effort is focused on micro analysis of the current retail landscape and opportunities – we believe it is critical to any strategic initiative to understand the macro factors affecting commercial retail development.

Marketing Strategy

Upon completion of the research component of our engagement, the NextSite team will create an online account through our BASECAMP platform, available to the appropriate contacts in Parker to access all market analysis, marketing materials and project communications.

Identification and Recommendation of Retail Targets – NextSite will develop a Retail Target List consisting of new to market retail/restaurants that fit the market profile as well as the profile of targeted consumers. This list of retailer and restaurant targets is based on the initial research and analysis done for your community and the identified trade areas. The Retail Target List is updated as we determine interest levels through our conversations with developers and tenant rep firms and as retailers/restaurants adjust their expansion plans.

Recommendations for Site Locations for Retail/Restaurant Targets - NextSite and its partners will work with the city to catalog local commercial properties that may be suitable sites for development and/or redevelopment, including those sites that may present a higher and best use. This will include maps, aerials, and all pertinent contact and site-specific information relative to each site.

Develop Marketing Materials - NextSite will develop marketing materials on Client's behalf to market the community and site opportunities to retailers, developers, and tenant reps.

Implementation of Retail Recruitment Plan

A NextSite team member will be designated as the primary point of contact between the appropriate Client officials and NextSite. This Client manager's responsibilities will include:

1. Communication with Client
2. Communication with local property owners, developers and brokers
3. Updating and Maintaining the Basecamp account
4. Responding to On-Demand research report requests

The NextSite team will focus on proactively recruiting developers and tenant reps to your community. This effort will include:

1. Outgoing phone calls to tenant rep firms
2. Outgoing phone calls to retail developers
3. Portfolio Reviews with tenant reps and developers
4. ICSC Conference meetings with tenant rep firms and developers
5. Updating the Focus Property List
6. Updating the Retail Target List
7. Basecamp updates in real time as new information becomes available
8. Responding to specific research and site information requests from developers and tenant reps

Retail Networking Project Timeline

Day
1

- ✓ Contract executed to engage NextSite
- ✓ Getting Started Questionnaire provided to the primary contact
- ✓ Basecamp Account is activated & document sharing begins
- ✓ Research & Market Analysis work begins
- ✓ Developer & Tenant Rep Contacts notified of client engagement

Day
15

- ✓ Getting Started Questionnaire has been received
- ✓ Mobile Mapping Analysis completed
- ✓ Aerial & Map work begins
- ✓ Peer Analysis & Retail Leakage reports completed

Day
30

- ✓ Focus Property information uploaded to Basecamp by client
- ✓ Radius, Travel Time & Regional Trade Area research completed
- ✓ All Market Analysis has been completed & uploaded to Basecamp

EXHIBIT B

Optional Services

PUBLIC/PRIVATE PARTNERSHIPS - INCENTIVES CONSULTING SERVICES

NextSite has partnered with several industry experts to provide incentives consulting services to public sector organizations. It is critical for community leaders to understand the validity of these requests by leveraging the knowledge of these experts through quantitative analysis of the project pro forma, measuring the impact on existing retail sales (cannibalization) and calculating the potential for increased retail sales tax revenue to the city and the economic impact on city finances.

INCENTIVES CONSULTING FEES NEGOTIATED PER PROJECT



CITY OF PARKER AGENDA ITEM SUMMARY

1. DEPARTMENT MAKING REQUEST/NAME OF PRESENTER:

Mayor Rich Musgrave

2. MEETING DATE:

June 19, 2018

3. REQUESTED MOTION/ACTION: In conjunction with updating our HR policy manual, the Department Heads agree to changes in Vacation Accrual, Sick Leave Policy and Probation period: See attached for details

4. IS THIS ITEM BUDGETED (IF APPLICABLE)

YES

☐

NO

☐

N/A

☐

5. BACKGROUND: (PROVIDE HISTORY; WHY THE ACTION IS NEEDED; WHAT GOAL WILL BE ACHIEVED FOR THE CITY)

In order to remain competitive with other governmental entities, the Department Heads have agreed to make changes to portions of our HR policy.

Vacation Accrual rates will be lowered to match most other communities (cost savings here will help fund sick leave changes)

Sick Leave changes will allow payout of a portion of accrued sick leave upon resignation or retirement

Probation Period will be increased

VACATION

Current – 13 days per year for first five years; 19.5 days per year for years 6-10; 26 days per year beyond 10 years

Revised – 12 days per year for first five years; 15 days per year for years 6-10; 18 days per year for years 11-15; 21 days per year for years 16-20; and 24 days per year beyond 20 years (note Fire Department would have different accrual amounts because of their unique 24 hour schedule and would follow how all other communities offset for Fire)

This is the same as offered by Bay County and Panama City Beach; Panama City is the same except it caps at 21 days per year; Mexico Beach and Lynn Haven cap at 25 days per year; Callaway starts at 6.5 days and caps at 19.5 days per year; Springfield starts at 10 days and caps at 26 days. See attached comparison chart.

Changes would only affect accruals going forward, no one would lose the current rate of accrual. Example: today an employee with 6 years tenure would be earning at a rate of 19.5 days per year and would move to 26 days at year 10. Under the revised plan, employee would stay at 19.5 days per year even though under the revised plan would only be entitled to 15 days. Employee accrual would increase to 21 days per year at year 16.

SICK LEAVE

Current – all accrued sick leave is forfeited upon termination and accrual used to be capped at 240 hours

Revised – no cap on sick leave and at separation (resignation or retirement only) City would pay 25% of accrued sick leave up to a maximum of 240 hour payout

Following do not provide any payout: Bay County, Panama City Beach, Callaway, Springfield. Following provide some payout: Lynn Haven (on retirement only); Mexico Beach sliding scale to 20% maximum; Panama City maximum 240 hour payout.

Example: employee has 200 hours accrued sick leave and resigns. Employee would be eligible for 50 hour payout.

PROBATION PERIOD

Current – probation period is six months

Revised – probation period is one year

VHS Svc	Days/Yr																										Max Accum
	1	2	3	4	5	6	7	8	9	10	11	12	13	14	15	16	17	18	19	20	21	22	23	24	25	26	
Parker current revised	13	13	13	13	13	19.5	19.5	19.5	19.5	19.5	26	26	26	26	26	26	26	26	26	26	26	26	26	26	26	26	240
Bay City	12	12	12	12	12	15	15	15	15	15	18	18	18	18	21	21	21	21	21	21	24	24	24	24	24	24	
PC	12	12	12	12	12	15	15	15	15	15	18	18	18	18	21	21	21	21	21	21	21	21	21	21	21	21	
PCR	12	12	12	12	12	15	15	15	15	15	18	18	18	18	21	21	21	21	21	21	24	24	24	24	24	24	240
Springfld	10	10	10	10	10	10	10	15	15	15	15	15	15	15	20	20	20	20	20	20	20	20	20	20	20	20	240
Calaway	6.5	13	13	13	13	16.25	16.25	16.25	16.25	16.25	19.5	19.5	19.5	19.5	19.5	19.5	19.5	19.5	19.5	19.5	19.5	19.5	19.5	19.5	19.5	19.5	240
Moesco Bch	5	10	10	10	10	15	15	15	15	15	20	20	20	20	25	25	25	25	25	25	25	25	25	25	25	25	200
Lynn Haven	12	12	15	15	15	15	15	15	15	15	20	20	20	20	20	20	20	20	20	20	25	25	25	25	25	25	
Mean	10	12	12	12	12	14	14	15	15	15	18	18	18	18	19	21	21	21	21	21	23	23	23	23	23	23	
Median	12	12	12	12	12	15	15	15	15	15	18	18	18	18	20	21	21	21	21	21	24	24	24	24	24	24	